

# EV CHARGER LOCATION PLAN

for

# The Bowen

3000 Gracie Kiltz Lane, Austin, Texas 78758

## DESIGN CRITERIA

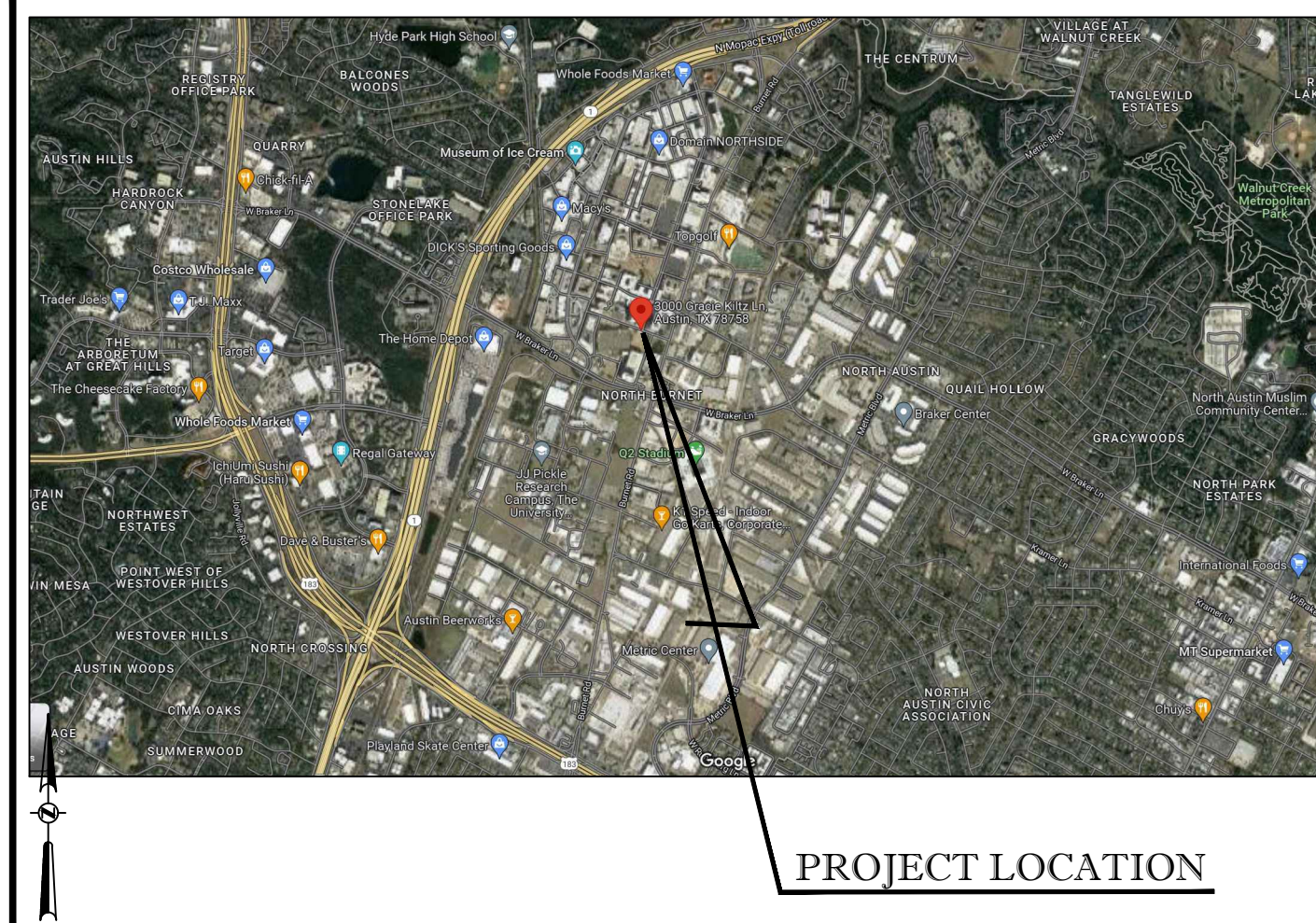
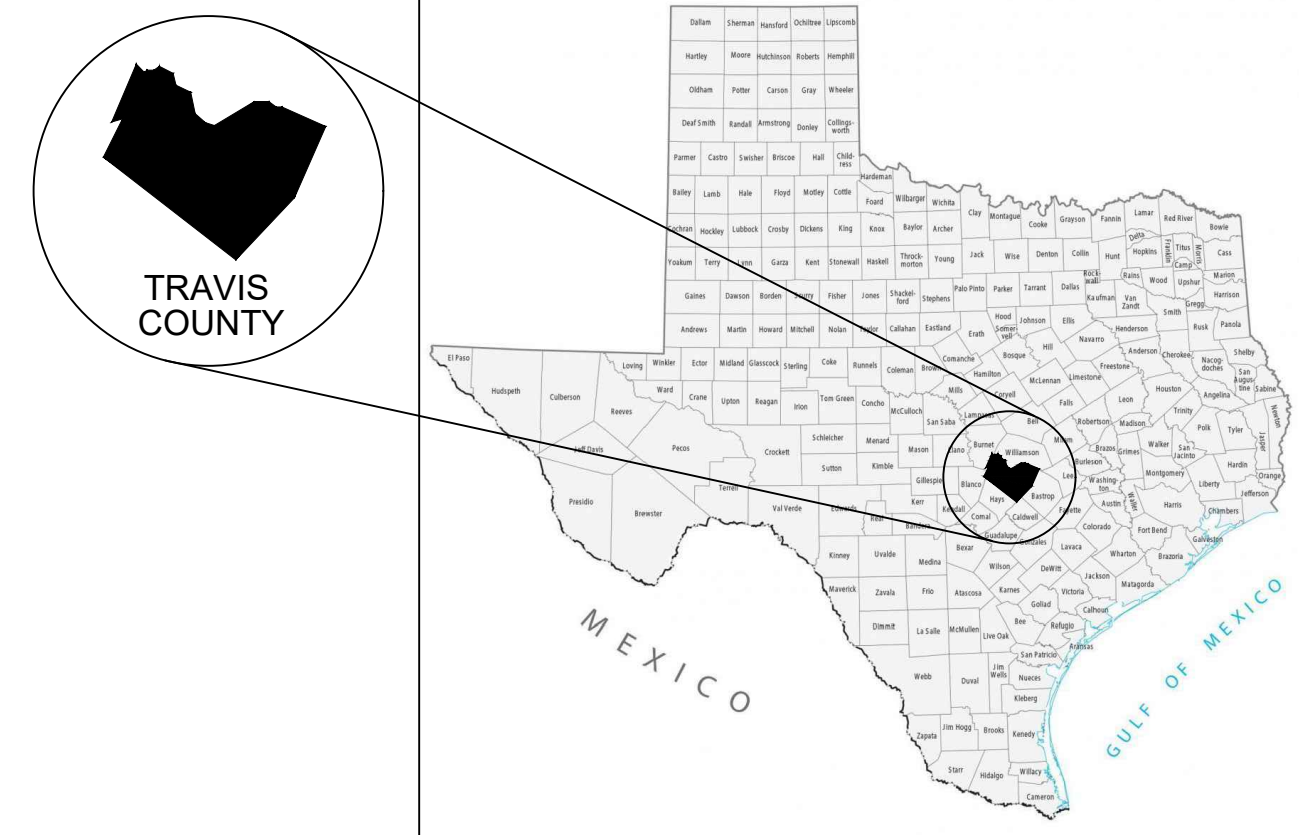
BASIS OF DESIGN:

ALL CONSTRUCTION IS DESIGNED AS FOLLOWS:  
INTERNATIONAL BUILDING CODE (IBC) 2021  
NATIONAL ELECTRICAL CODE (NEC) 2020

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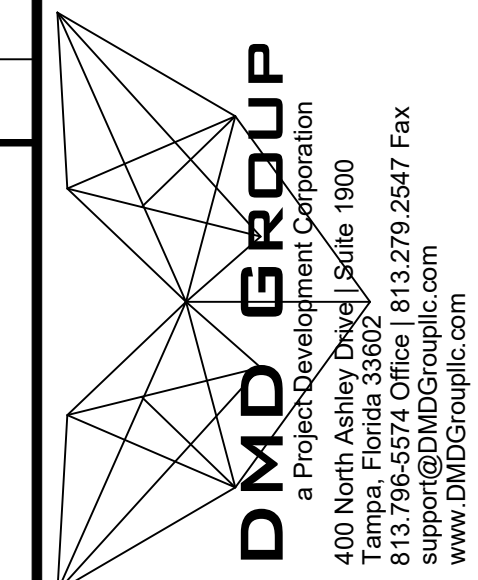
## VICINITY MAP



## SCOPE OF WORK

- |  |  |
|--|--|
| 1. <u>SITE</u>   | 1. <u>MECHANICAL</u>   |
| 1.1. NO WORK PERFORMED IN THIS PERMIT SUBMITTAL.   | 1.1. NONE  |
| 2. <u>BUILDING</u>   | 2. <u>ELECTRICAL</u>   |
| 2.1 INSTALL NEW XEAL ENERGY LEVEL 2 EV CHARGERS IN EXISTING DESIGNATED PARKING SPACES AT LOCATION.   | 2.1. EXISTING METER AND ELECTRICAL PANEL TO REMAIN.  |
| 2.3 CONTRACTOR CAN SUBMIT ANY REQUEST FOR INFORMATION (RFI) VIA EMAIL AT SUPPORT@DMDGROUPLLC.COM FOR RESPONSES DURING BIDDING PROCESS AND LATER DURING CONSTRUCTION. | 2.2. EXIST. EV CHARGER JUNCTION BOXES LOCATED AT DESIGNATED PARKING SPACES AT LOCATION.  |
|  | 2.3. EXISTING 2-POLE 40 amp CIRCUIT BREAKERS INSTALLED AT EXISTING ELECTRICAL PANEL HP-L-CC1 LOCATED IN ELECTRICAL ROOM. EXISTING 1" CONDUIT AND WIRING PREVIOUSLY INSTALLED FROM EXISTING PANEL HP-L-CC1 TO EACH EXISTING EV CHARGER JUNCTION BOX LOCATION. |
|  | 3. <u>PLUMBING</u>   |
|  | 3.1. NONE  |

**INNERVATIONS**  
*Global Problems, Simple Solutions*  
400 N. Ashley Drive  
Suite 1900  
Tampa, Florida 33602  
(833) 420-4ENV5 (4387) Office  
[Support@Innervations.net](mailto:Support@Innervations.net)  
[www.innervations.net](http://www.innervations.net)

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New Bowen EV Project for:

**The Bowen at The Domain**  
3000 Gracie Kiltz Lane,  
Austin, TX 78758

CONSTRUCTION DOCUMENTS

Job No: -  
Project No: 18140101ENBOWN  
Date: 12/01/2022  
Drawn: MK  
Design: DRH

# Cover Sheet

CS101

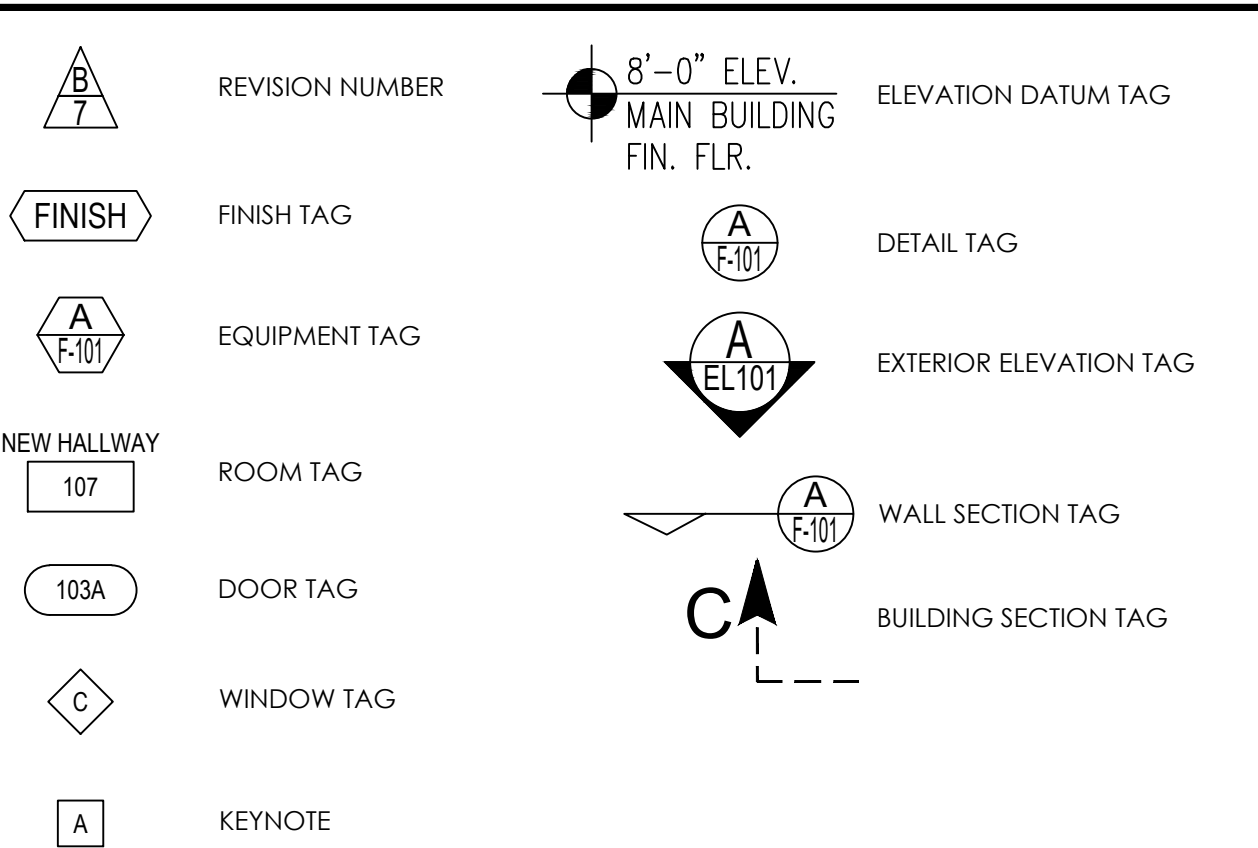


GENERAL NOTES:

RESIDENTIA

1. ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OR OTHER HANDICAP ACCESSIBILITY CODES.
2. GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S VENDORS REGARDING CONSTRUCTION SCHEDULING AND SEQUENCING OF THE WORK.
3. THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
4. THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
5. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE, UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC.. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DMD GROUP CONSULTANTS, LLC. [DMD].
6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY DMD ENGINEER OF RECORD OF ANY DISCREPANCIES..
7. DESIGN OF SYSTEMS IS BASED ON INFORMATION FURNISHED BY OTHER WITH NO GUARANTEE AS TO ACCURACY. PRIOR TO BID DATE, CONTRACTORS SHALL EXAMINE THE SITE, CONTACT LOCAL UTILITIES TO VERIFY SERVICE REQUIREMENTS, AND SHALL INCLUDE IN THE BASE BID ALL COST FOR REQUIREMENTS, FEES, CONNECTIONS, AND METERING FOR COMPLETE AND TEMPORARY ELECTRICAL AND TELEPHONE SERVICES IN ACCORDANCE WITH GOVERNING CODES AND ORDINANCES.
8. GENERAL CONTRACTOR TO INFORM DMD ENGINEER OF RECORD OF ANY VARIANCE OR DISCREPANCY AFFECTING EXISTING OR NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
9. CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING IN WALLS FOR SUPPORT OF ALL EQUIPMENT, SHELVING, ACCESSORIES, SIGNAGE, AND OTHER DEVICES REQUIRED.
10. ALL PENETRATIONS SHALL RECEIVE CAULKING TO SEAL ANY TYPE OF ENERGY LOSS.
11. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
12. UPON COMPLETION OF PROJECT, GENERAL CONTRACTOR SHALL OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION (AHJ) AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
13. GENERAL CONTRACTOR SHALL INCLUDE THE COST OF ELECTRICAL IMPROVEMENT AND ADDITION IF REQUIRED.
14. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE OWNER'S VENDORS ON SITE DURING CONSTRUCTION.
15. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SET-UP AND COORDINATION OF ALL THE UTILITY SERVICES FOR THE PROJECT.
16. ALL EXTERIOR FLOOR PLAN DIMENSIONS ARE TO EXTERIOR FACE OF MASONRY UNLESS OTHERWISE NOTED. ALL INTERIOR FLOOR PLAN DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
17. ALL FIRE PLYWOOD REFERENCES TO BE FIRE-RETARDANT TREATED PLYWOOD. (IF REQUIRED)
18. ALL PT PLYWOOD REFERENCES TO BE PRESSURE TREATED CDX.
19. ALL INTERIOR WALL TO HAVE BATTEN INSULATION. MINIMUM 6" ABOVE CEILING. (OPTIONAL)
20. ALL WALL AND FLOOR FINISHES TO BE CHOSEN BY OWNER.
21. ALL AIR-CONDITIONED SPACE - 10'-0" CEILING HEIGHT UNLESS OTHERWISE NOTED.
22. TRAY CEILINGS SHALL BE A MINIMUM OF 12" DEEP WITH EACH TIE A MINIMUM OF 8" DEEP. SEE TRUSS PROFILE SHEET S-100 AND ROOF FRAMING PLAN, SHEET S-101 FOR MORE DETAILS IF TRAY CEILINGS ARE PART OF THE DESIGN.
23. THE INSTALLATION OF ALL EXTERIOR COVERING AND PLASTER SHALL BE IN COMPLIANCE WITH ASTM C926, ASTM C1063 AND THE PROVISIONS OF FBC 7303.1.1 THRU 703.7.5.
24. THE INSTALLATION OF ALL EXTERIOR COVERING AND PLASTER OVER FRAME CONSTRUCTION SHALL BE IN COMPLIANCE WITH FLORIDA BUILDING CODE SECTION 1404.2.1 WHERE CEMENT PLASTER (STUCCO) IS TO BE APPLIED TO LATH OVER FRAME CONSTRUCTION, MEASURES SHALL BE TAKEN TO PREVENT BONDING BETWEEN THE CEMENT PLASTER AND THE WATER RESISTIVE BARRIER. A BOND BREAK SHALL BE PROVIDED BETWEEN THE WATER RESISTIVE BARRIER AND THE CEMENT PLASTER (STUCCO) CONSISTING OF ONE OF THE FOLLOWING:
- 24.1. TWO LAYERS OF AN APPROVED WATER-RESISTANT BARRIER OR
- 24.2. ONE LAYER OF AN APPROVED WATER-RESISTANT BARRIER OVER AN APPROVED PLASTIC HOUSE WRAP, OR
- 24.3. OTHER APPROVED METHODS OR MATERIALS APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
25. ALL DRAWINGS, COMPUTATIONS, DETAILS, DESIGN CALCULATIONS, ELECTRONIC FILES, 3D SCANS, VIDEOGRAPHY AND OTHER DOCUMENTS THAT RESULT FROM DMD GROUP CONSULTANTS, LLC. (DMD) UNDER THIS PROJECT, ARE AND REMAIN THE PROPERTY OF DMD AS INSTRUMENTS OF SERVICE. REUSE OR MODIFICATION BY THE CLIENT IS PROHIBITED. ANY UNAPPROVED USE OR MODIFICATION SHALL BE AT CLIENT'S OR OTHERS SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO DMD UNLESS APPROVED IN WRITING. OWNERSHIP OF ALL DOCUMENTS WILL REVERT TO CLIENT UPON FINAL PAYMENT.
26. NO CHANGES OR ALTERATIONS TO DESIGN OR STRUCTURAL CHARACTERISTICS SHALL BE MADE EXCEPT BY DMD. ANY MODIFICATIONS NEEDED TO PLAN DUE TO CLIENTS CHANGE OF MIND OR ENACTMENT OF NEW CODES SHALL BE CHARGED BASED UPON THE AMOUNT OF SERVICES NEEDED. IF REQUIRED, CLIENTS SHALL RECEIVE WRITTEN NOTICE OF AMOUNT CHARGED FOR MODIFICATIONS TO PLANS AND SHALL BE APPROVED BY CLIENT BEFORE WORK COMMENCES.
27. CLIENT HEREBY ACKNOWLEDGES THAT DMD CANNOT WARRANT THAT ANY COST ESTIMATES FOR CONSTRUCTION WILL NOT VARY FROM ACTUAL COSTS INCURRED BY THE CLIENT.
28. IF GENERAL CONTRACTOR PRODUCES VALUE ENGINEERING WHICH WILL SAVE CLIENT MONEY ON THIS PROJECT DURING THE ESTIMATION STAGE OR DURING CONSTRUCTION, THEN GENERAL CONTRACTOR SHALL SUBMIT DESIGN CHANGE TO DMD FOR REVIEW AND APPROVAL. ANY CHANGES ARE CHARGEABLE TO GENERAL CONTRACTOR. SUCH CHARGES WILL BE BASED UPON WORK PERFORMED AND PROVIDED TO GENERAL CONTRACTOR IN WRITING FOR APPROVAL BEFORE SUCH CHANGES ARE STARTED.
29. IN RECOGNITION OF THE RELATIVE RISKS AND BENEFITS OF THE PROJECT TO BOTH THE CLIENT AND DMD, THE RISKS HAVE BEEN ALLOCATED SUCH THAT THE CLIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO LIMIT THE LIABILITY OF DMD AND ITS SUB CONSULTANTS TO THE CLIENT AND TO ALL CONSTRUCTION CONTRACTORS AND SUBCONTRACTORS ON THE PROJECT ANY AND ALL CLAIMS, LOSSES, COSTS, DAMAGES OF ANY NATURE WHATSOEVER OR CLAIMS EXPENSES FROM ANY CAUSE OF CAUSES, SO THAT THE TOTAL AGGREGATE LIABILITY OF DMD AND ITS SUB CONSULTANTS TO ALL THOSE NAMED SHALL NOT EXCEED THE AMOUNT OF DMD'S FEE FOR THIS PROJECT. THIS LIMITATION SHALL APPLY REGARDLESS OF THE CAUSE OF ACTION OR LEGAL THEORY PLED OR ASSERTED.
30. THE CLIENT OR DMD MAY TERMINATE THIS PROJECT AT ANY TIME PROVIDED 10 DAYS WRITTEN NOTICE IS ISSUED. IN THE EVENT THAT THE AGREEMENT IS TERMINATED BY THE CLIENT, ALL OUTSTANDING INVOICES SHALL BE PAID WITHIN 30 DAYS. THIS PROJECT MAY ALSO BE TERMINATED BY DMD IF THE WORK DESCRIBED UNDER THE SCOPE OF SERVICES IS DORMANT OR SUSPENDED FOR 6 MONTHS OR MORE. IF PROJECT IS DORMANT FOR 6 MONTHS OR MORE, THEN DMD WILL REQUIRE THAT THE PROJECT BE REVIEWED PER CURRENT BUILDING CODES AND WILL CHARGE ADDITIONAL FEES PER SCOPE OF NEW WORK.
31. DMD STATES THAT IF BUILDING COMMENTS ARE RECEIVED FROM PERMITTING DEPARTMENT BY THE AUTHORITY HAVING JURISDICTION (AHJ), THEN DMD WILL CORRECT AND RESUBMIT CLIENT'S PLANS TO ENSURE THAT PLANS PASS PERMITTING. ANY MEETINGS TO REVIEW PLANS AND/OR CORRECTIONS TO PASS PERMITTING ARE INCLUDED VIA VIDEO TELECONFERENCE. UNLESS SUCH CORRECTIONS REQUESTED IN WRITING BY THE CLIENT ARE DUE TO DESIGN CHANGE OR LOCAL AHJ CODE CHANGES, ANY IN PERSON MEETINGS WITH AHJ ARE CHARGEABLE PER THE SCOPE OF WORK REQUIRED. DMD IS NOT HELD RESPONSIBLE OR LIABLE FOR ANY LOSSES OF ANY KIND BECAUSE OF THE LENGTH OF TIME TO REVIEW OR A CHANGE IN CODES BY THE LOCAL BUILDING DEPARTMENT. HOWEVER, DMD WILL ENSURE THAT COMMENTS FROM THE AHJ WILL BE ANSWERED WITHIN A REASONABLE AMOUNT OF TIME. ONE (1) RESPONSE OF AHJ BUILDING COMMENTS ARE INCLUDED IN THIS PROJECT.
32. DMD WILL PROVIDE LIMITED CONSTRUCTION SUPPORT FOR PROJECT. GENERAL CONTRACTOR AND SUBCONTRACTORS WILL BE SUPPORTED BY RESPONDING TO REQUEST FOR INFORMATION (RFI) RFI SUPPORT WILL INCLUDE ONLY PHONE CALLS FOR REVIEW OF CONDITIONS ON SITE. ANY ENGINEERED LETTERS, UPDATED CONSTRUCTION DOCUMENTS, AS-BUILT DRAWINGS, AND/OR ON-SITE VISITS SHALL BE BILLED TO THE REQUESTOR AT A REASONABLE RATE PER THE SCOPE OF WORK AND PROVIDED IN WRITING BEFORE WORK STARTS.
33. FOR ALL RFIs, ANY CORRESPONDENCE SHALL BE FOLLOWED BY A BACKUP EMAIL REQUEST OF INFORMATION FOR PROPER RECORD KEEPING BY GENERAL CONTRACTOR OR GENERAL CONTRACTOR'S REPRESENTATIVE. IF DMD IS NEEDED TO REVIEW FIELD ISSUES DURING CONSTRUCTION, DMD TEAM WILL REQUIRE ANY NECESSARY PHOTOS OR SKETCHES OF ISSUE TO REVIEW WITH GENERAL CONTRACTOR SENT VIA EMAIL AT SUPPORT@DMDGROUPLLC.COM BEFORE FIELD REVIEW. ANY DELIVERY OR MAILING CHARGES FOR ANY DOCUMENTS TO CLIENT, GENERAL CONTRACTOR, AHJ, OR GENERAL CONTRACTOR SUBCONTRACTORS SHALL BE CHARGED PER LOCAL DELIVERY FEES. ANY ENGINEERED LETTERS OR ON-SITE VISITS SHALL BE CHARGED TO REQUESTOR PER SCOPE OF WORK AND WILL BE INVOICED BY DMD TO REQUESTOR.
34. THE FOLLOWING IS NOT INCLUDED IN THIS PERMIT SET SUBMITTAL:
- GREEN BUILDING CERTIFICATION SERVICES (E.G. LEED)
  - IT IS ASSUMED THAT FIRE PROTECTION "PERFORMANCE SPECIFICATIONS" WILL BE PROVIDED FOR ALL SPACES AND THAT FULL FP DESIGN IS NOT REQUIRED.
  - ANY ADDITIONAL AS-BUILT SITE DRAWINGS, AS-BUILT BUILDING DRAWINGS, VALUE ENGINEERED DRAWINGS, TRUSS MANUFACTURER SHOP DRAWINGS, OR STEEL SHOP DRAWINGS REVIEW THAT IS REQUIRED BY OWNER, AHJ, GENERAL CONTRACTOR, SUBCONTRACTOR OR INSPECTOR ARE CHARGEABLE. SUCH CHARGES TO BE DETERMINED BY THE WORK REQUIRED TO PRODUCE THEM AND CLIENT WILL BE NOTIFIED BY DMD IN WRITING WITH AN ADDENDUM PROPOSAL WILL BE SUBMITTED FOR APPROVAL.
  - ADDITIONAL DETAILS REQUIRED DUE TO CLIENT CHANGES OR LOCAL BUILDING DEPARTMENT CORRECTIONS AFTER PERMITTING WILL BE CHARGED BASED UPON THE WORK PERFORMED. CLIENT WILL BE NOTIFIED BY DMD IN WRITING IF ADDITIONAL DETAILS ARE NEEDED AND SUBMITTED FOR APPROVAL.
35. THE SCHEDULE OF THE PROJECT IS NOT GUARANTEED. THE CLIENT UNDERSTANDS THAT FEDERAL, STATE, AND LOCAL GOVERNMENTAL PERMITTING IS REQUIRED AND DMD CANNOT GUARANTEE TIMEFRAMES FOR REVIEW OR APPROVAL OF PROJECT DOCUMENTS. ANY AND ALL SCHEDULE DATES PROVIDED ARE ESTIMATES ONLY. WORK SHALL COMMENCE UPON RECEIPT OF REQUIRED DEPOSIT AS NOTICE TO PROCEED.
36. THE PROJECT INCLUDES AN ARCHITECTURAL SITE LAYOUT PER PROPERTY SURVEY OR LANDLORD SITE PLAN. ANY ADDITIONAL SITE ENGINEERED DRAINAGE, CIVIL SITE DESIGN/PLANS, LANDSCAPE PLAN, AND PHOTO-METRIC ANALYSIS/PLANS ARE CHARGEABLE. SUCH CHARGES TO BE DETERMINED BY THE WORK REQUIRED TO PRODUCE THEM AND CLIENT WILL BE NOTIFIED BY DMD IN WRITING WITH AN ADDENDUM FOR APPROVAL BEFORE ADDITIONAL WORK IS STARTED.
37. CURRENT ENERGY CODES SHALL BE MET WITH A DESIGN, PLAN LAYOUT, AND ENERGY CALCULATIONS PROVIDED SEPARATELY BY A CERTIFIED MECHANICAL ENGINEER OR DESIGNER ACCORDING TO THE LOCAL AHJ REQUIREMENTS.
38. THE LOCAL AHJ CONFIRMED THAT THESE CONSTRUCTION DOCUMENTS ARE NOT REQUIRED TO BE SIGNED AND SEALED BY A CERTIFIED ENGINEER. THESE CONSTRUCTION AND PERMITTING PLAN DOCUMENTS SHALL BE SUBMITTED TO LOCAL AHJ WITHIN 6-MONTHS OR LESS. IF THIS IS NOT SUBMITTED BY CLIENT OR CLIENT REPRESENTATIVE, THEN CLIENT SHALL BE REQUIRED TO PAY AN ADDITIONAL FEE FOR REVIEW OF CURRENT AND LOCAL CODES. IN ADDITION, IF LOCAL AHJ REQUIRES THAT THESE DOCUMENTS ARE SIGNED AND SEALED BY STATE CERTIFIED ENGINEER, THEN THERE WILL BE AN ADDITIONAL FEE BASED UPON THE SCOPE OF WORK.
39. FAILURE TO EXAMINE AND BE FAMILIAR THE DRAWINGS, SPECIFICATIONS AND/OR EXISTING CONDITIONS SHALL NOT BE USED AS A BASIS OF ADDITIONAL SERVICES. SHOULD ANY DISCREPANCIES OCCUR BETWEEN THE PLANS, ARCHITECT AND ENGINEER SHALL BE NOTIFIED IN WRITING TO DMD GROUP CONSULTANTS, LLC AT SUPPORT@DMDGROUPLLC.COM.

SYMBOLS:



# General Notes

SCALE:  
N.T.S

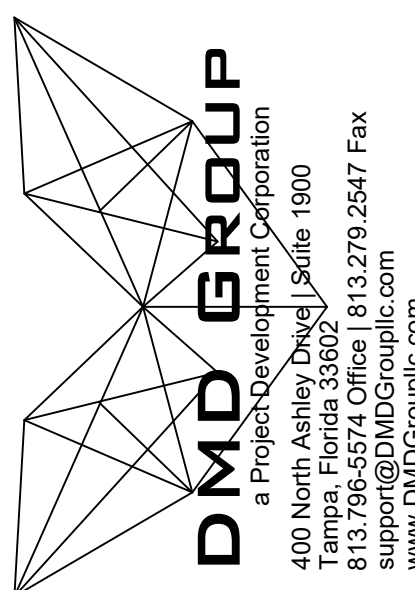
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N-101

New Bowen EV Project for:

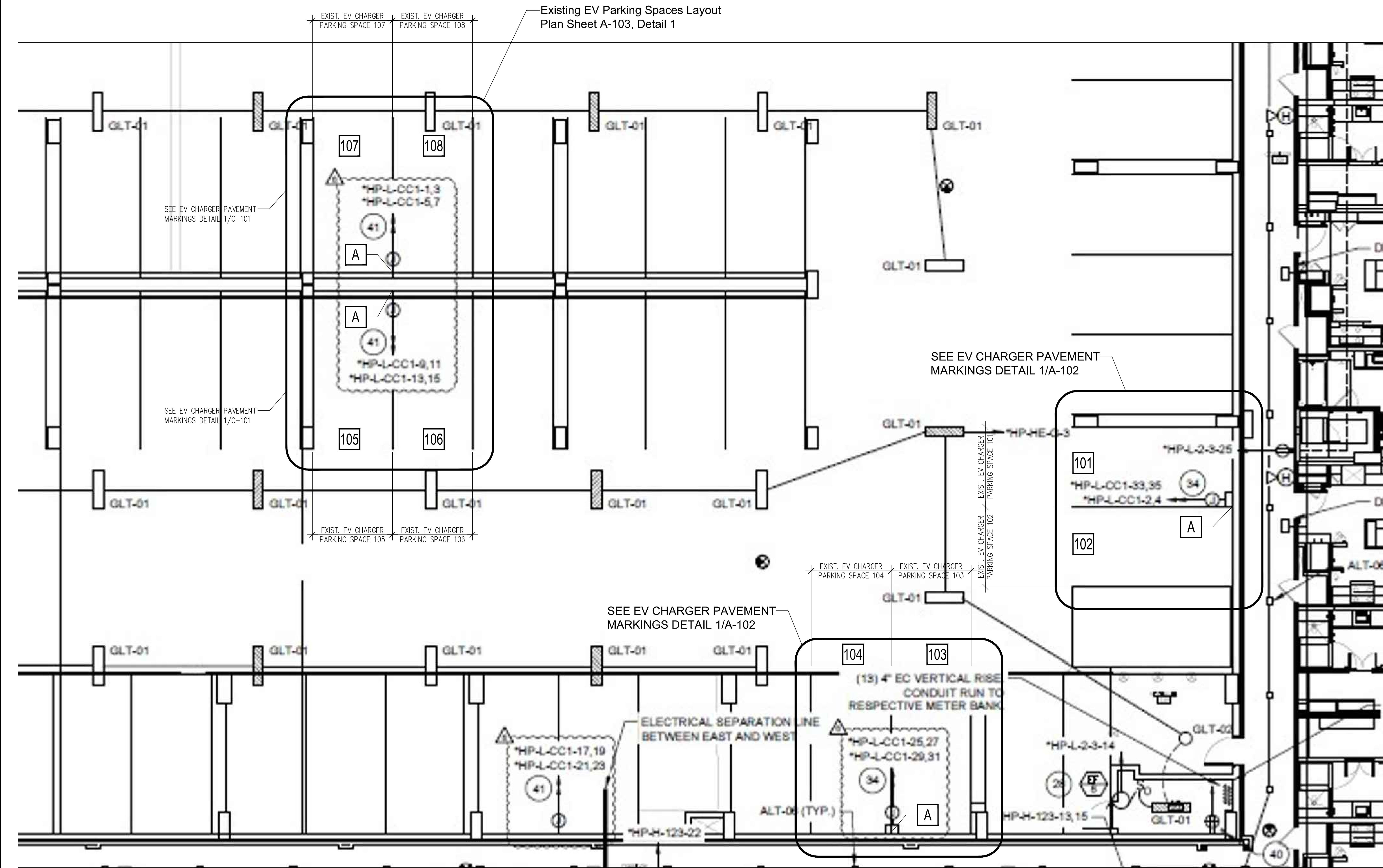
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3000 Gracie Kiltz Lane,  
Austin, TX 78758

## CONSTRUCTION DOCUMENTS



**INNERVATIONS**  
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400 N. Ashley Drive  
Suite 1900  
Tampa, Florida 33602  
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- GENERAL NOTES
1. THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.

2. THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.

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4. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE, UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC.

Existing EV Parking Space Layout Plan

Scale:  
1" = 1'-0"

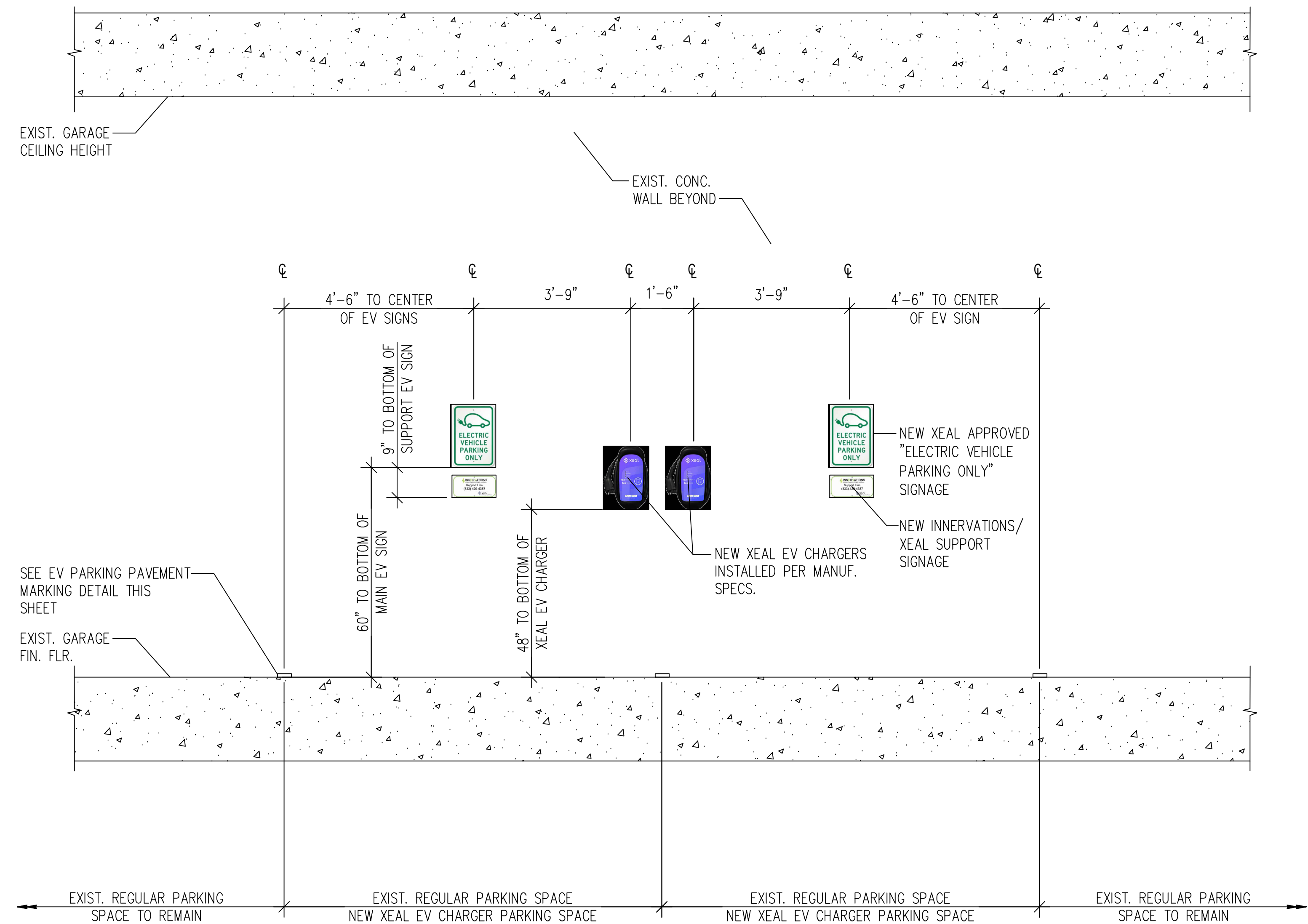
NO.	REVISIONS	DATE
1.	Project Assessment	10/26/2022
2.	Site Assessment Design Concept	10/26/2022
3.	Construction Plan set	12/01/2022

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GENERAL NOTES

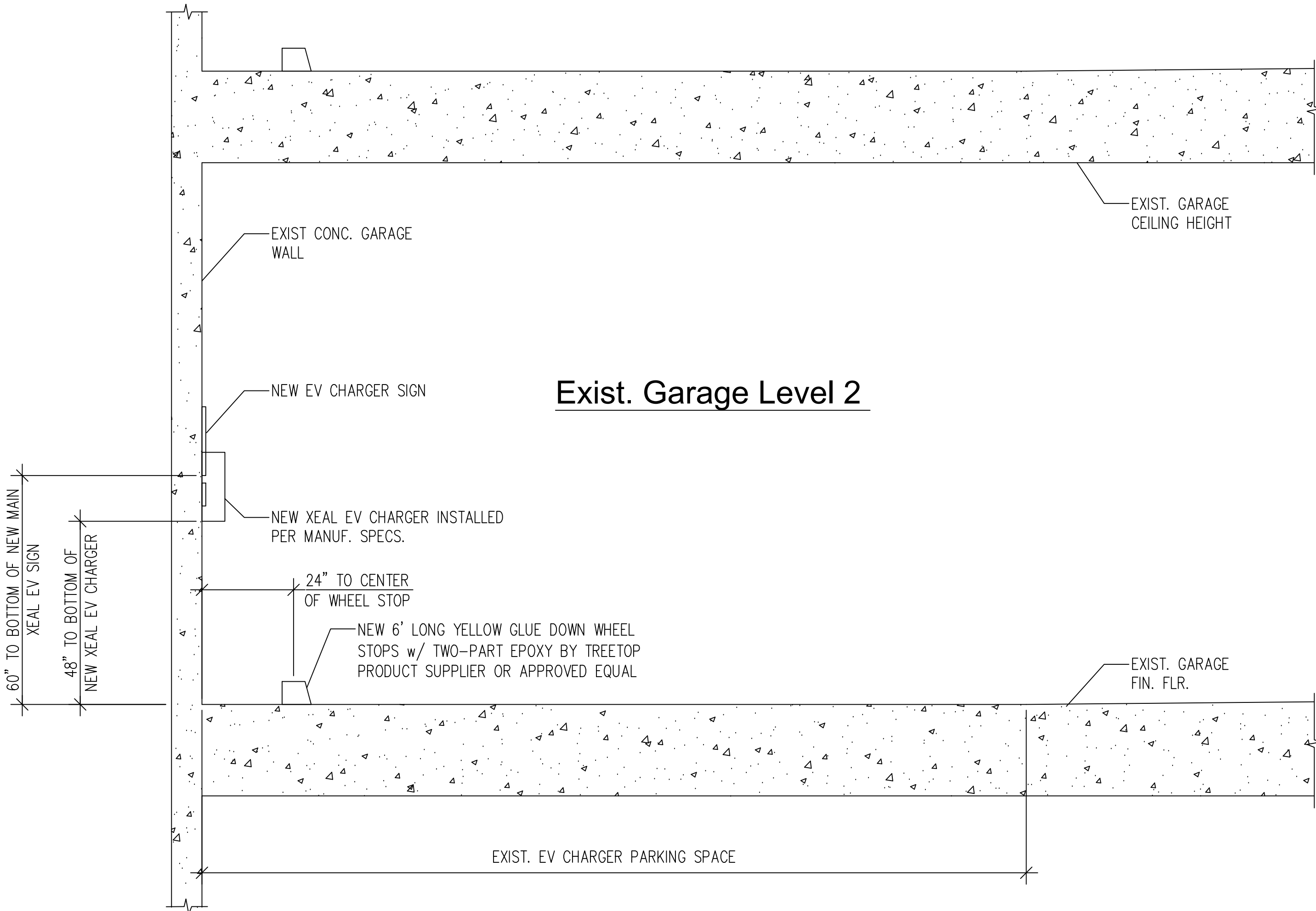
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Typical EV Front Elevation View

Scale:  
1/2" = 1'-0

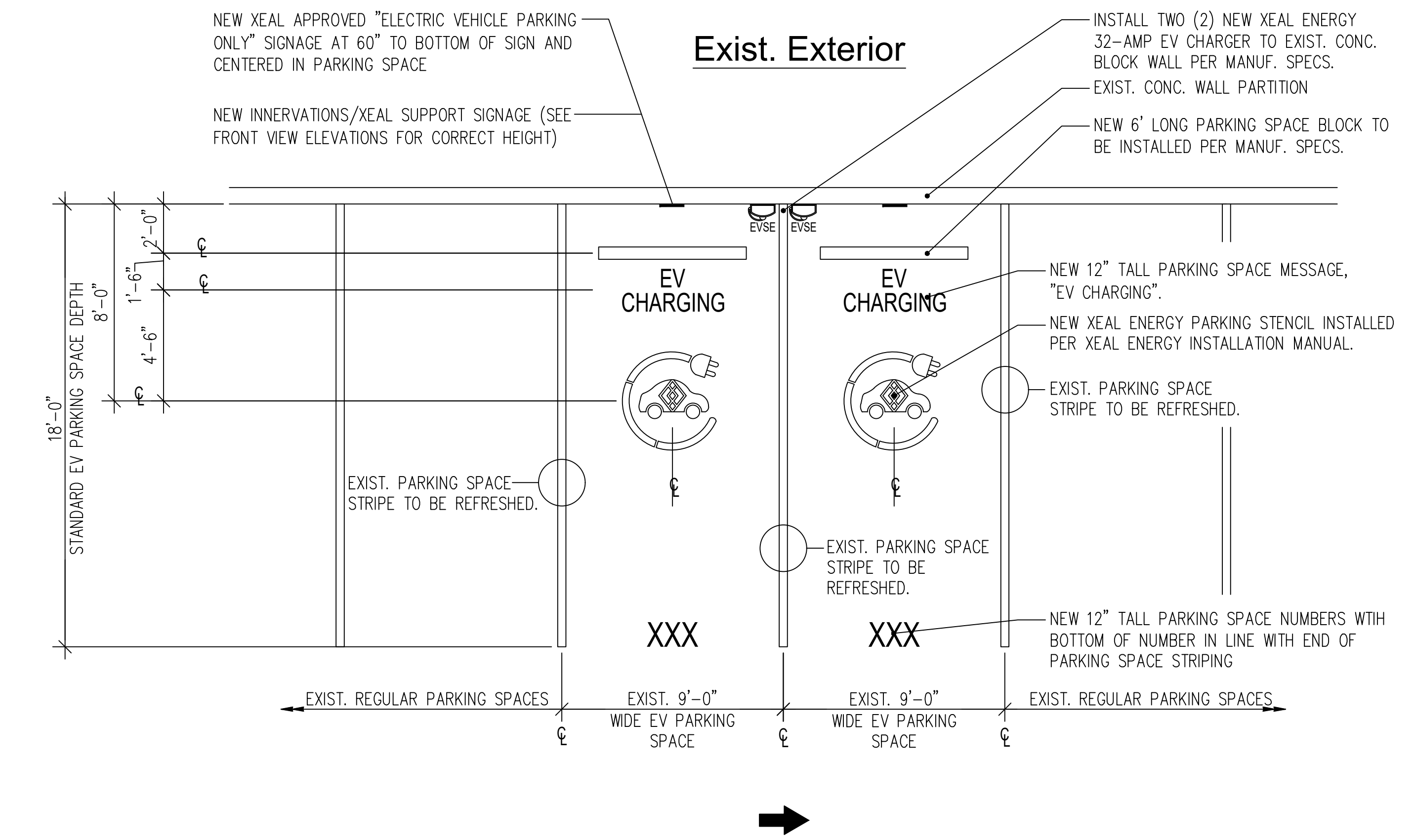
2



Typical EV Side Elevation View

Scale:  
1/2" = 1'-0

3



Typical EV Floor Plan

Scale:  
1/4" = 1'-0

1

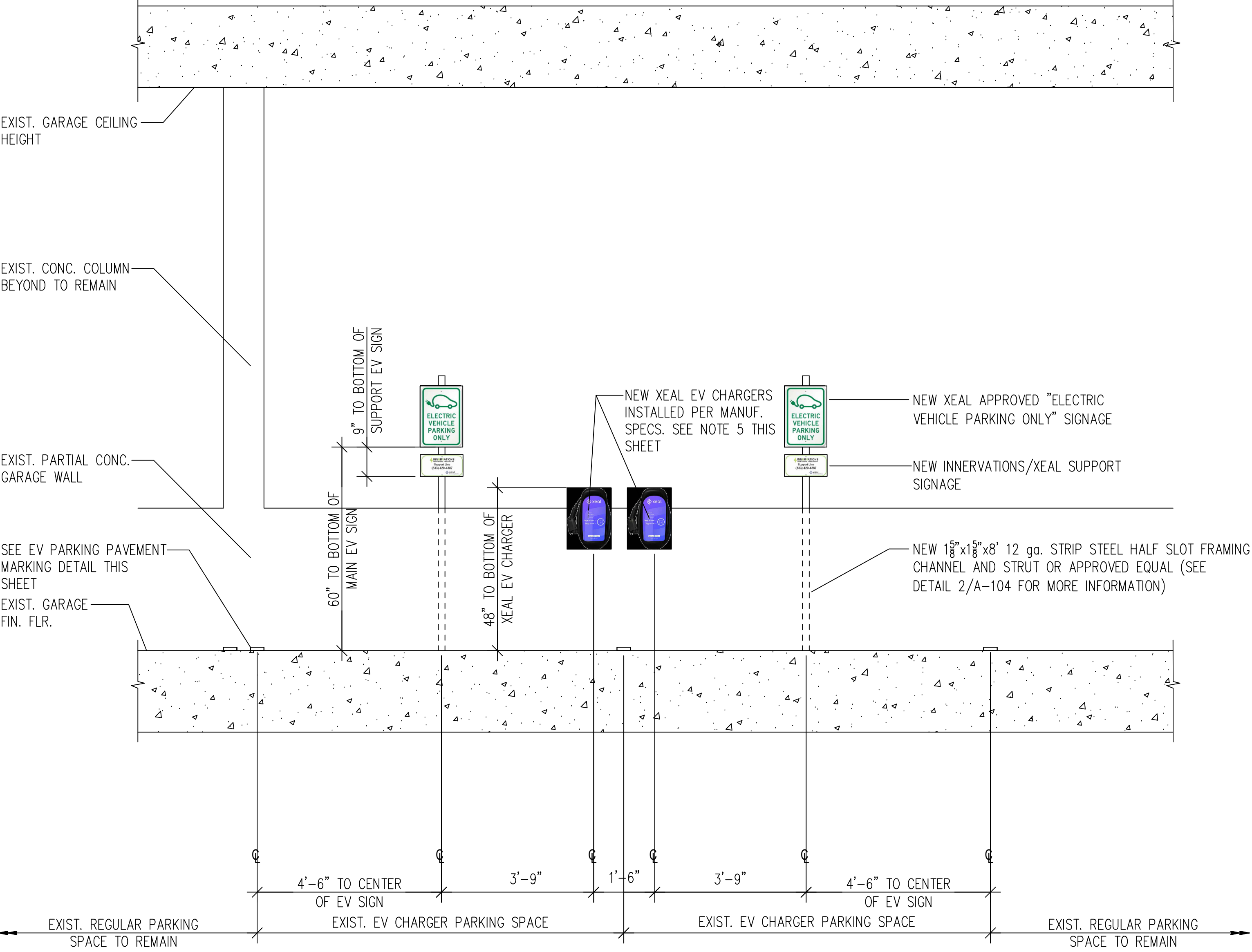
Typical EV Parking Space on Concrete Wall Partition

NO.	REVISIONS	DATE	NO.	REVISIONS	DATE
1.	Project Assessment	10/26/2022			
2.	Site Assessment Design Concept	11/02/2022			
3.	Construction Plan Set	12/07/2022			



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5. NEW XEAL CHARGER SHALL BE INSTALLED ON CONC. PARTITION WALL PER MANUF. SPECS. IF TOP FASTENER DOES NOT HAVE AT LEAST 1 1/2" CLEARANCE FROM EDGE, THEN GENERAL CONTRACTOR TO CONTACT DMD GROUP CONSULTANTS AT SUPPORT@DMDGROUPLLC.COM FOR OPTIONS.

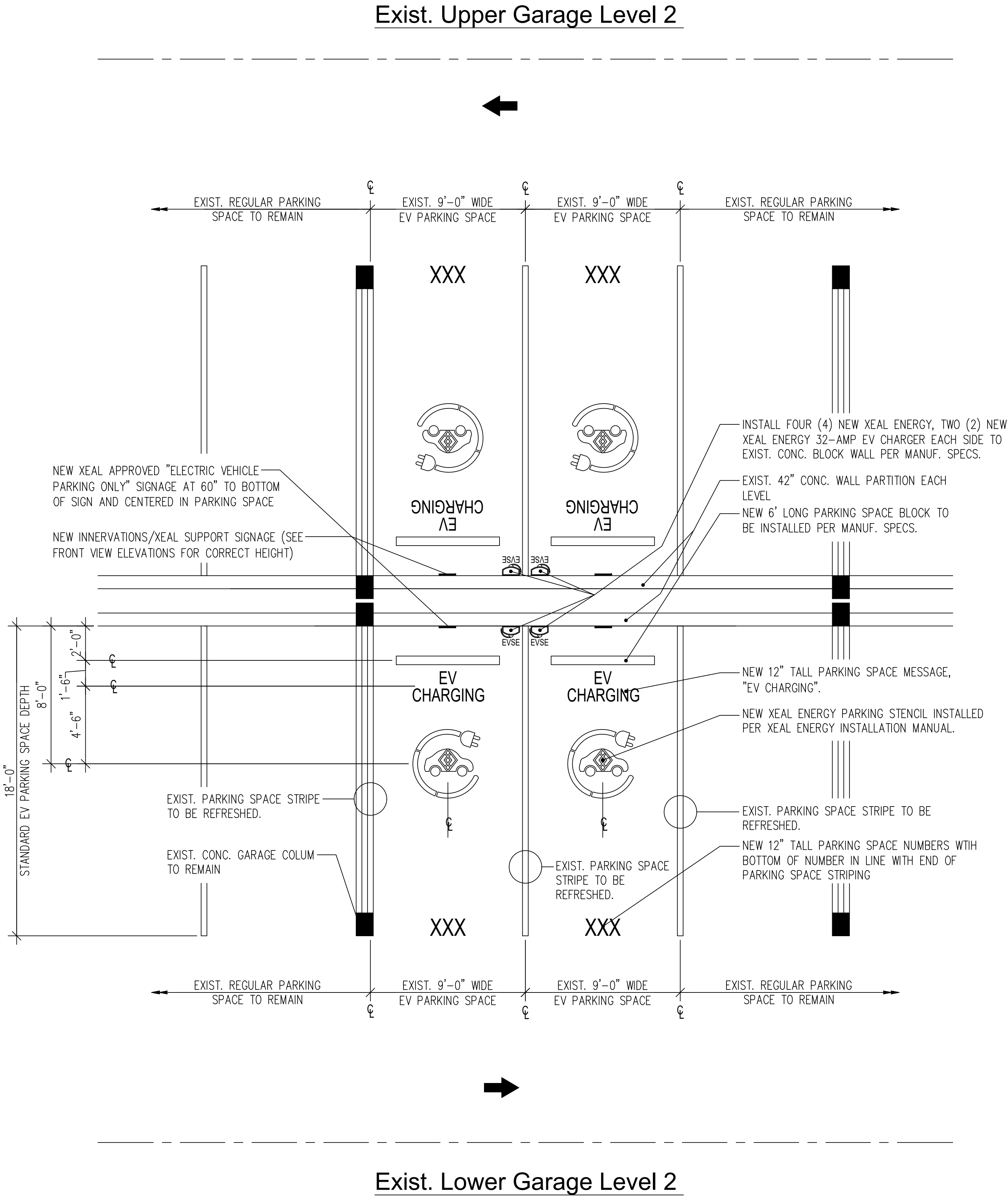


Typical Front Elevation View

Scale:  
1/4" = 1'-0

2

Typical EV Parking Space on Transition Garage Levels



Typical EV Floor Plan

Scale:  
1/4" = 1'-0

1

New Bowen EV Project for:  
**The Bowen at The Domain**  
3000 Gracie Kiltz Lane,  
Austin, TX 78758

Job No: -  
Project No: 18140101ENBOWN  
Date: 12/01/2022  
Drawn: MK  
Design: DRH

EVSE Parking  
Space Details

A-103

**xeal**  
EV CHARGING SOLUTIONS

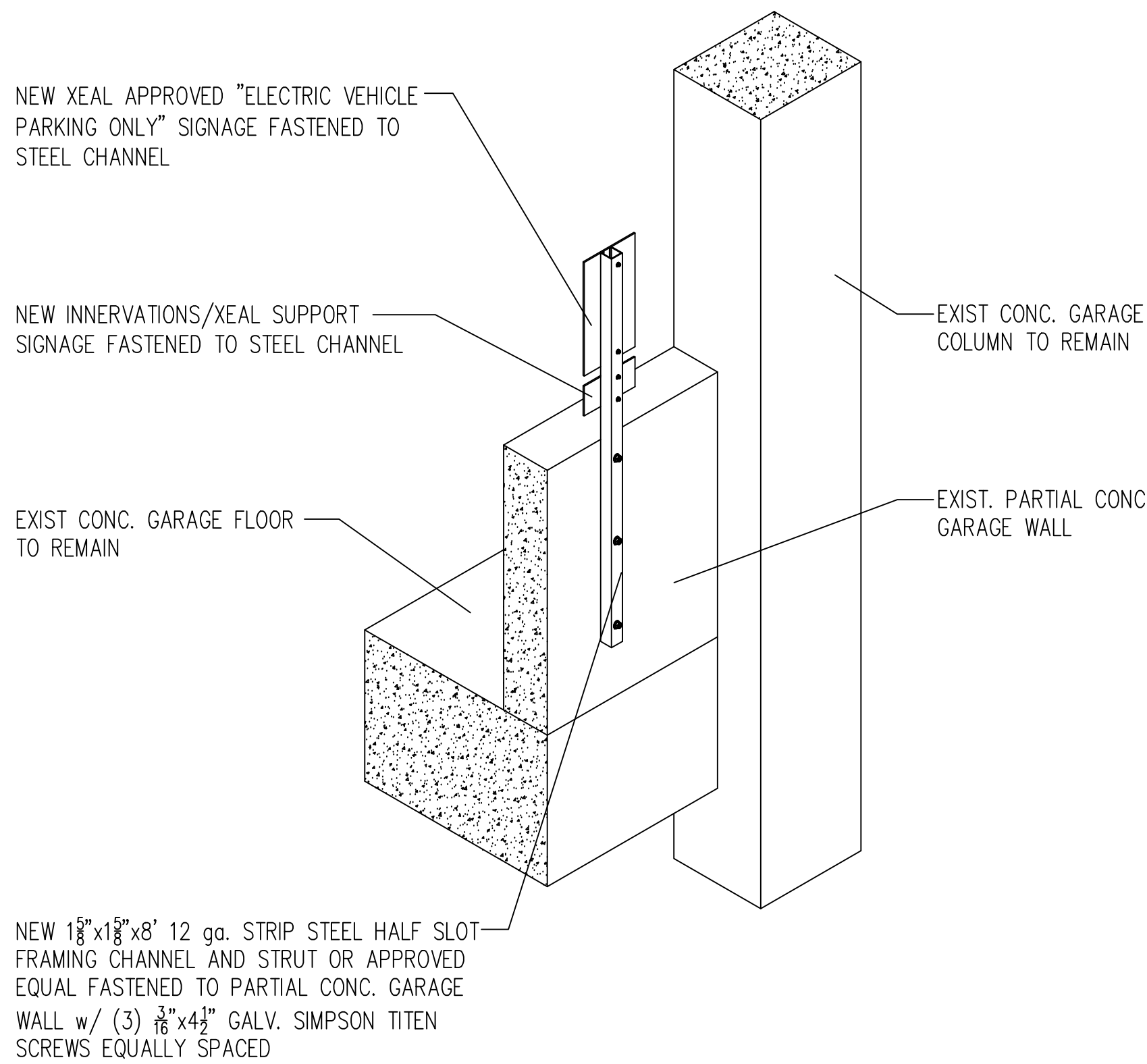
**DMD GROUP**  
a Project Development Corporation  
400 North Ashley Drive, Suite 1900  
Tampa, FL 33602  
(813) 796-5574 Office | 813.279.2547 Fax  
support@DMDGroupllc.com  
www.DMDGroupllc.com

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Global Problems, Simple Solutions  
400 N. Ashley Drive  
Suite 1900  
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(813) 420-4EV5 (4387) Office  
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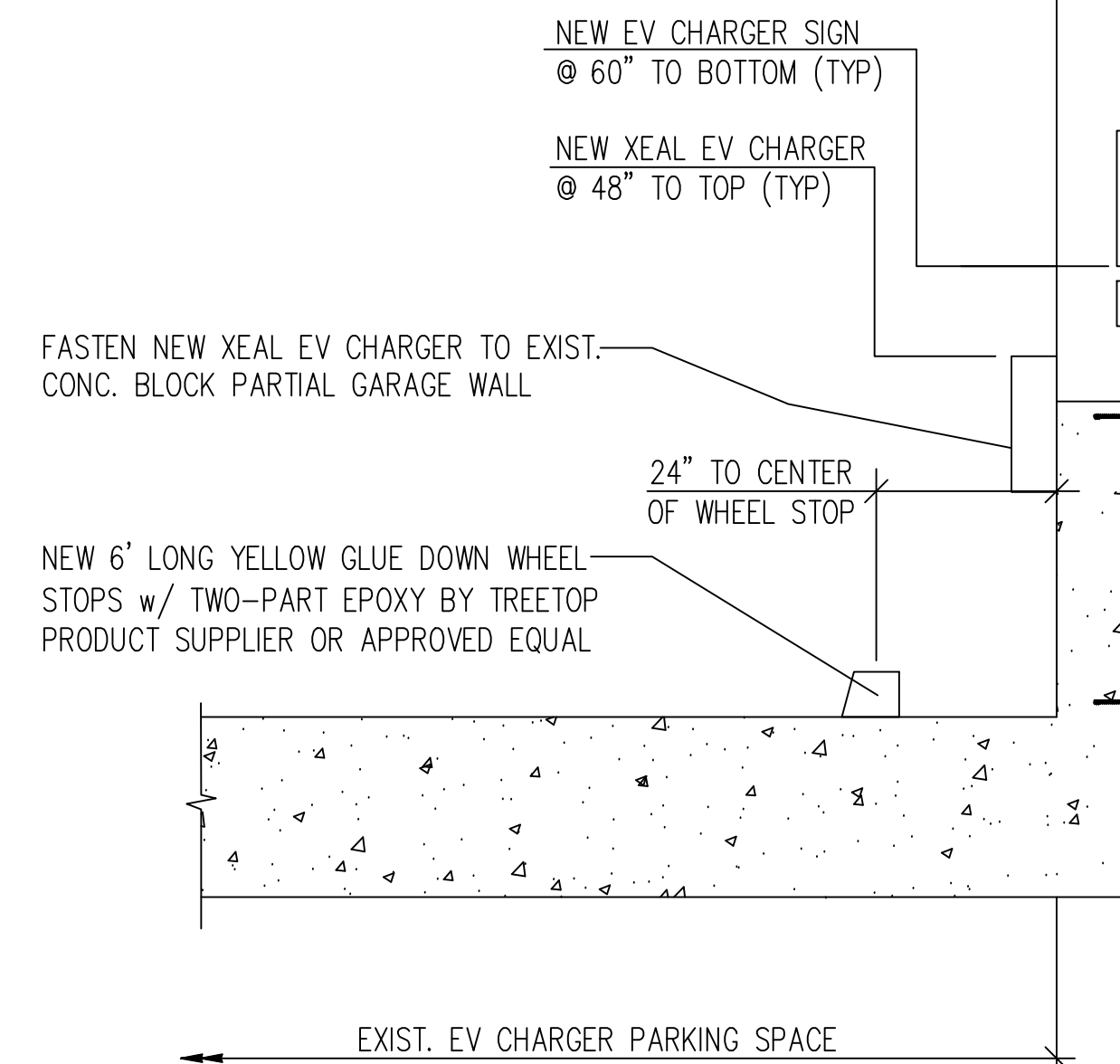


Typical EV Sign Detail

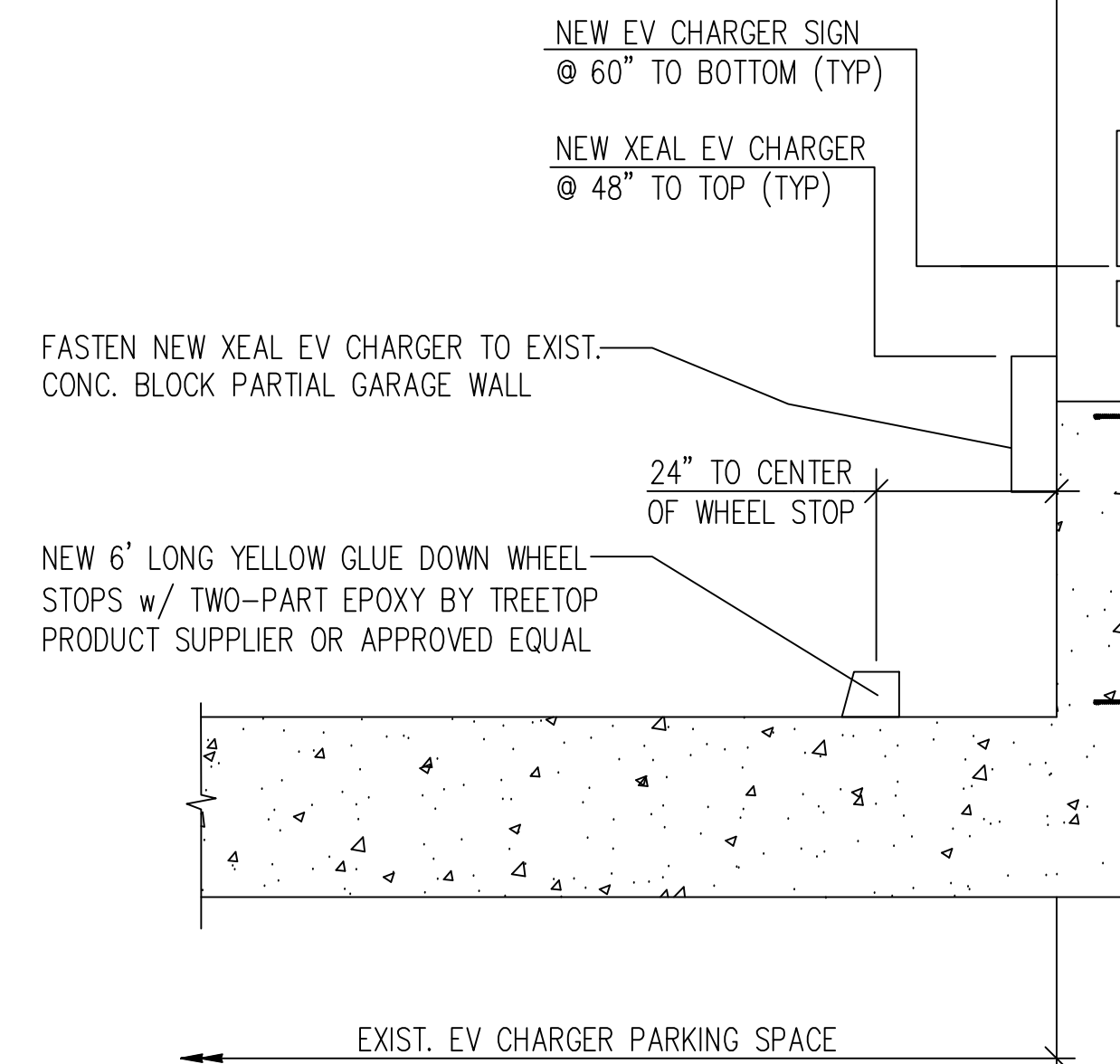
Scale:  
1/4" = 1'-0

2

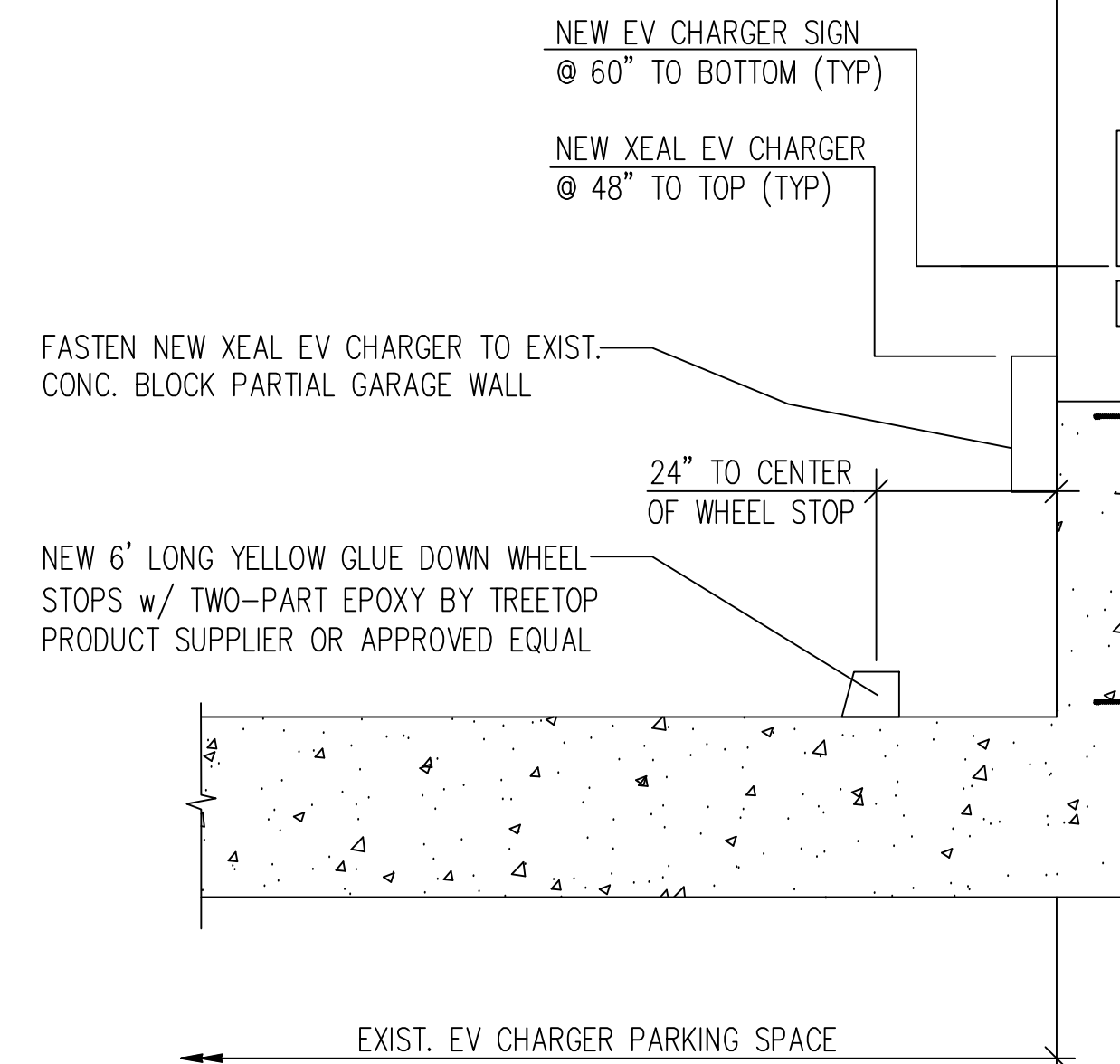
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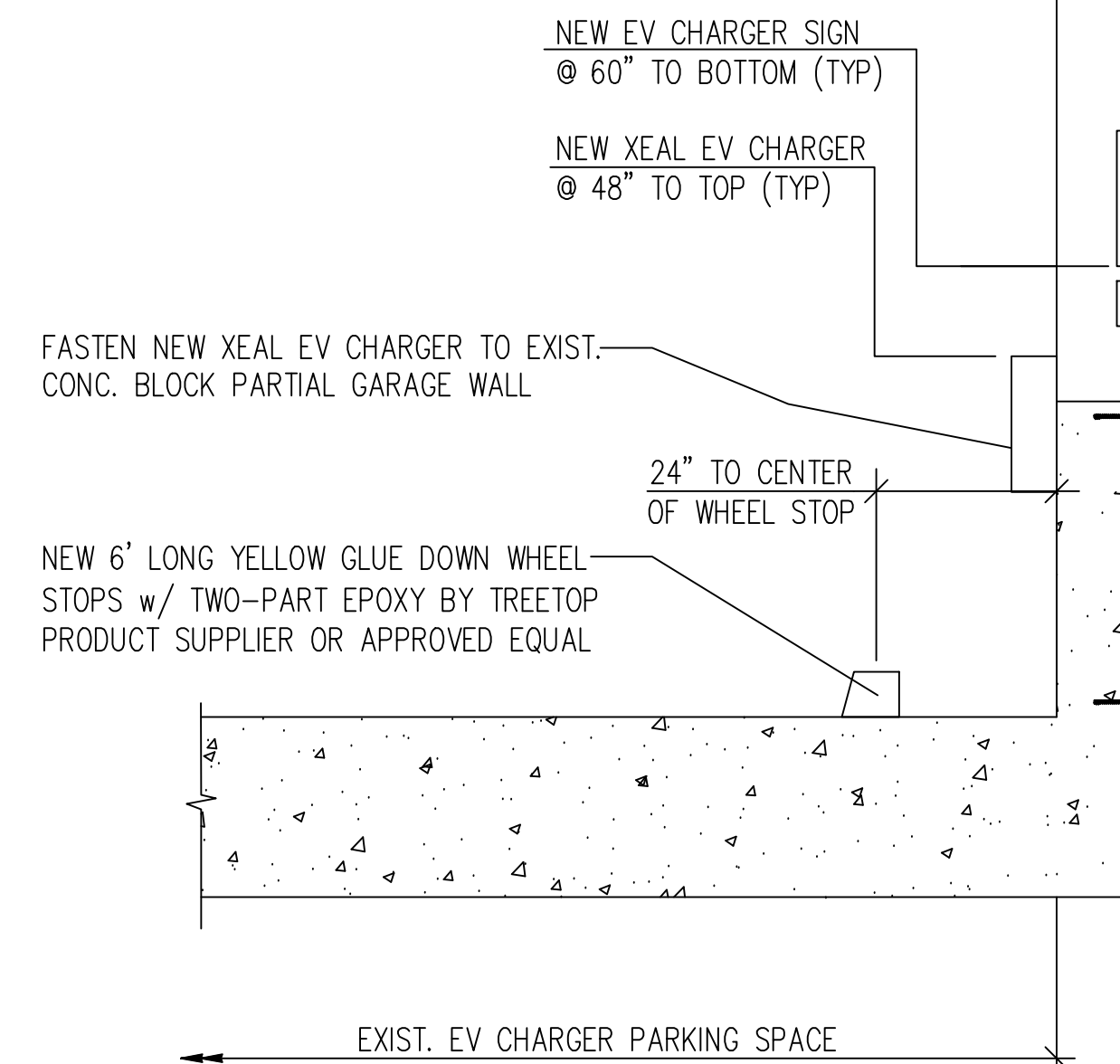
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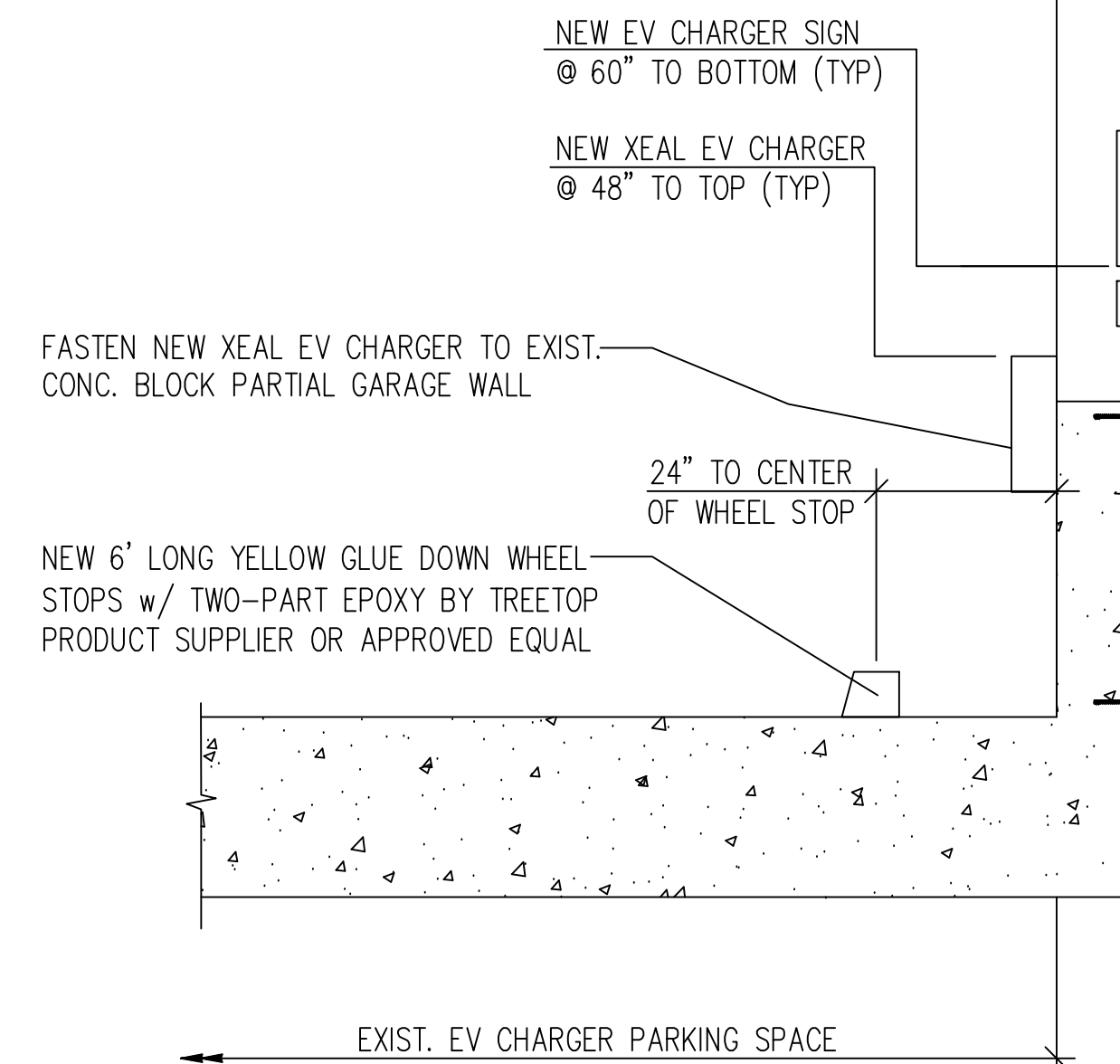
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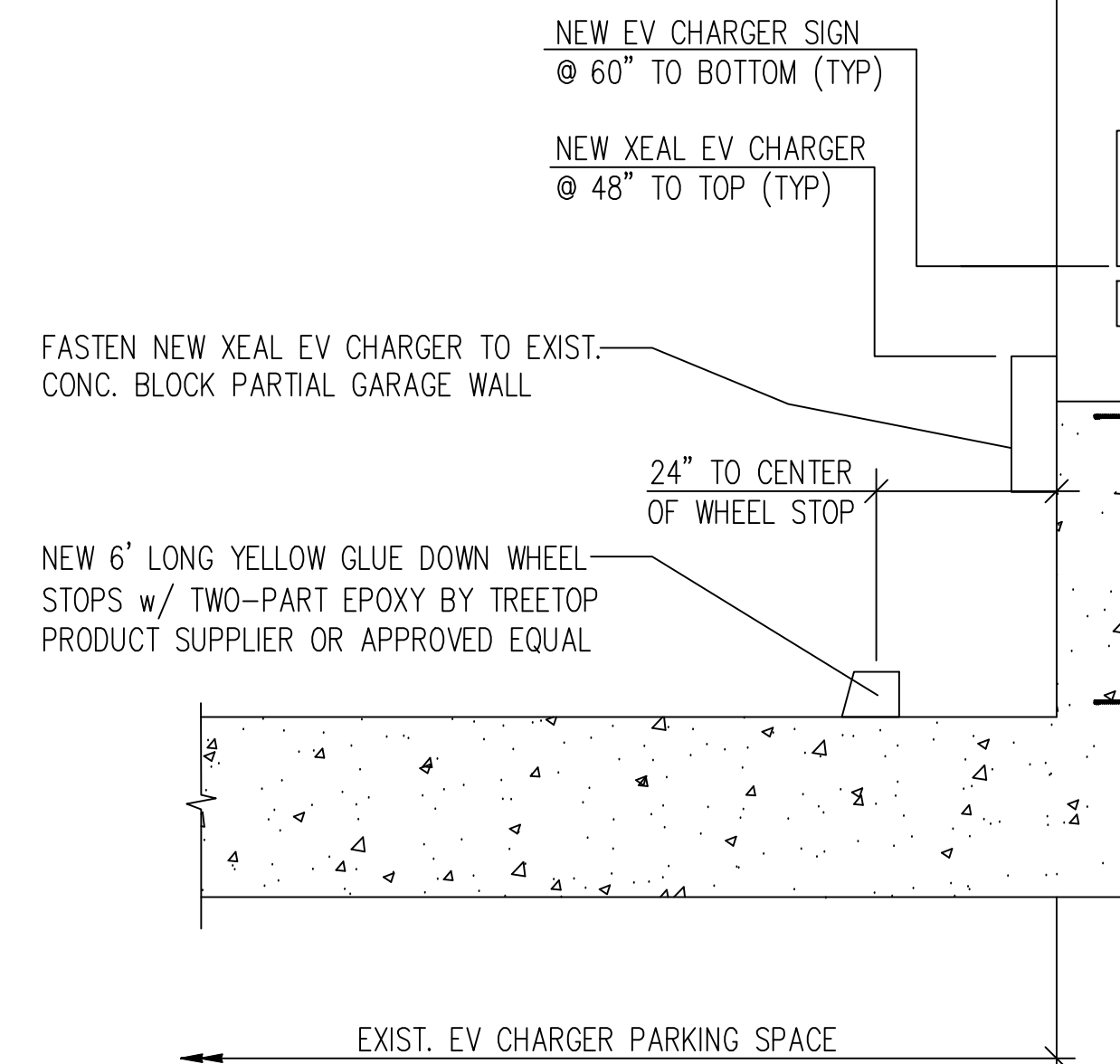
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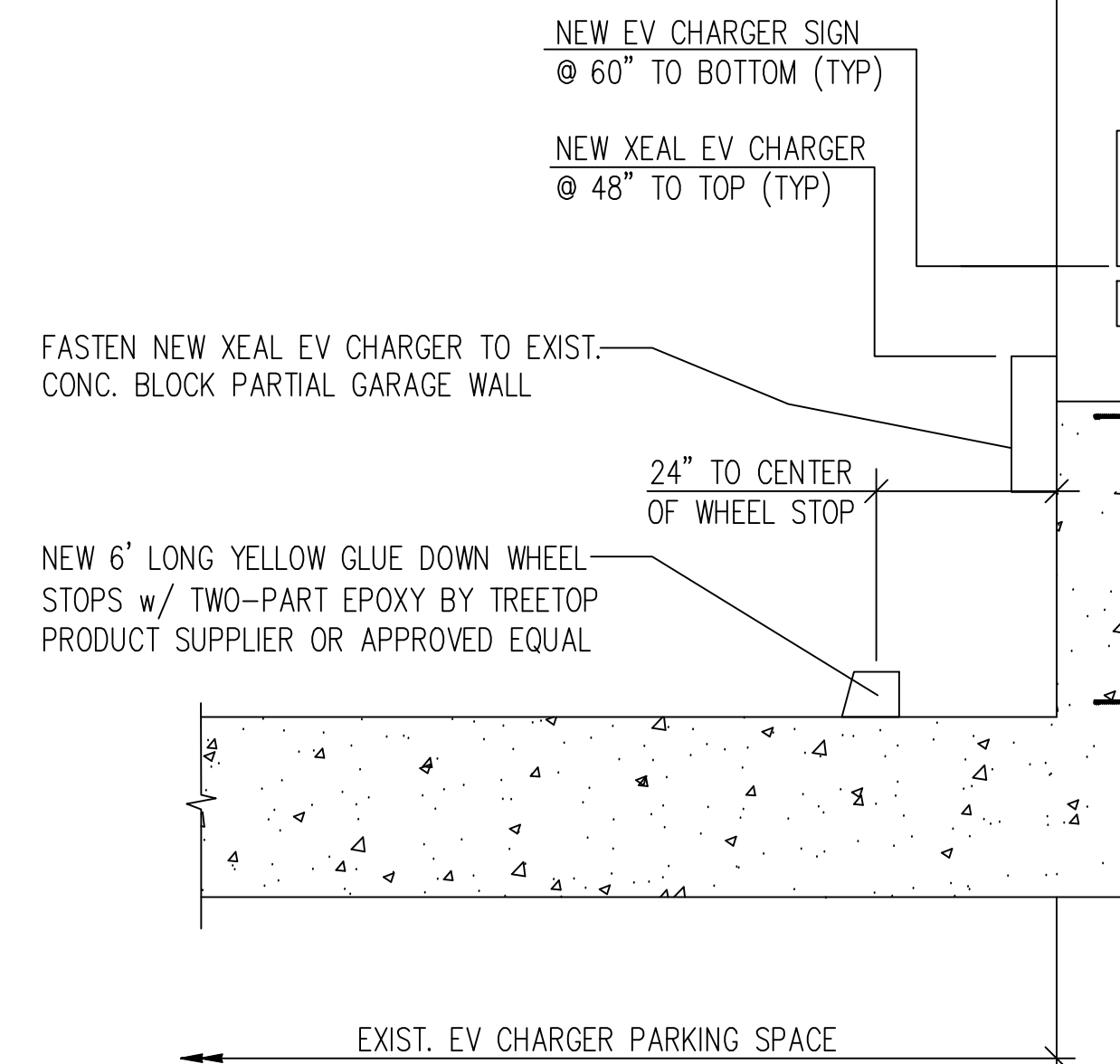
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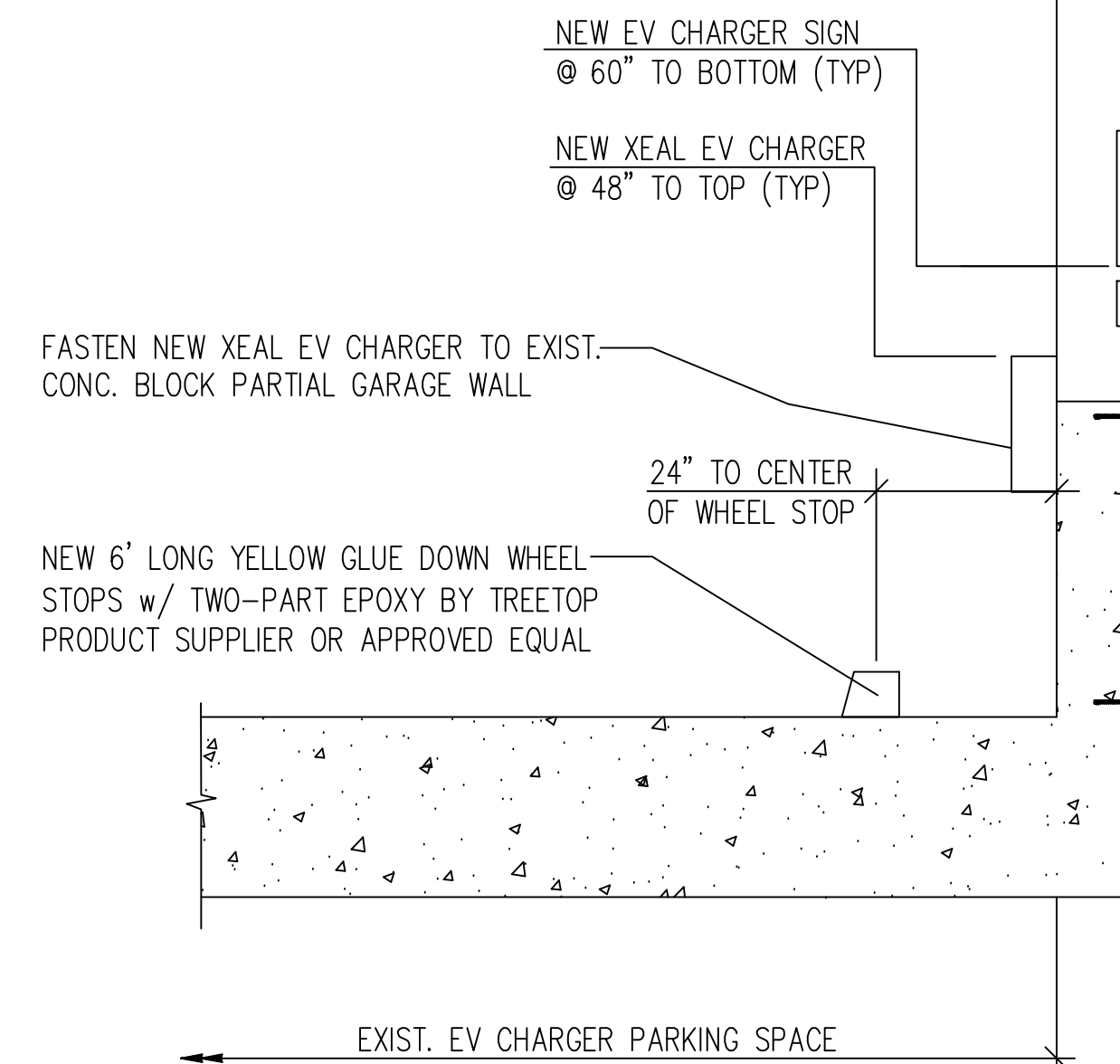
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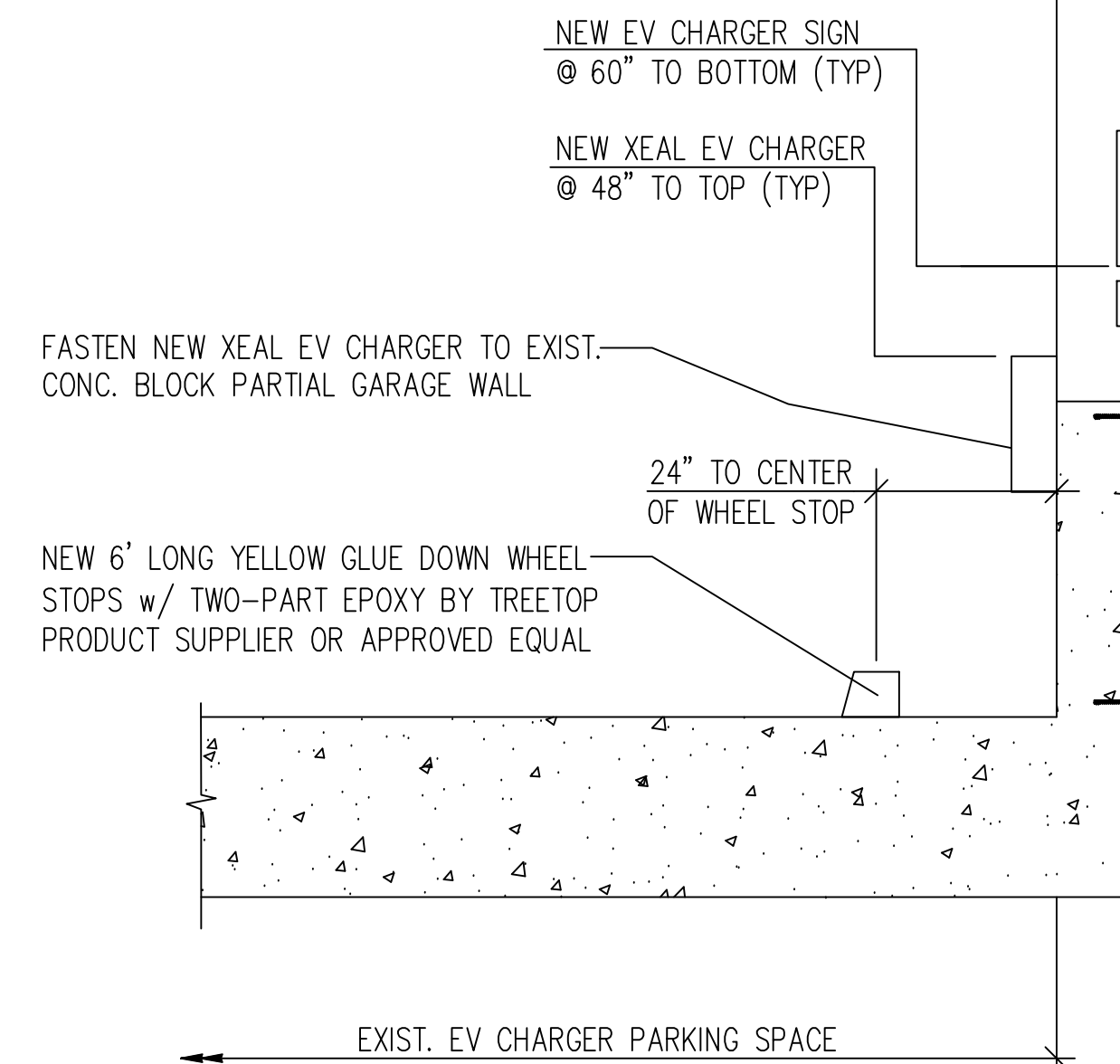
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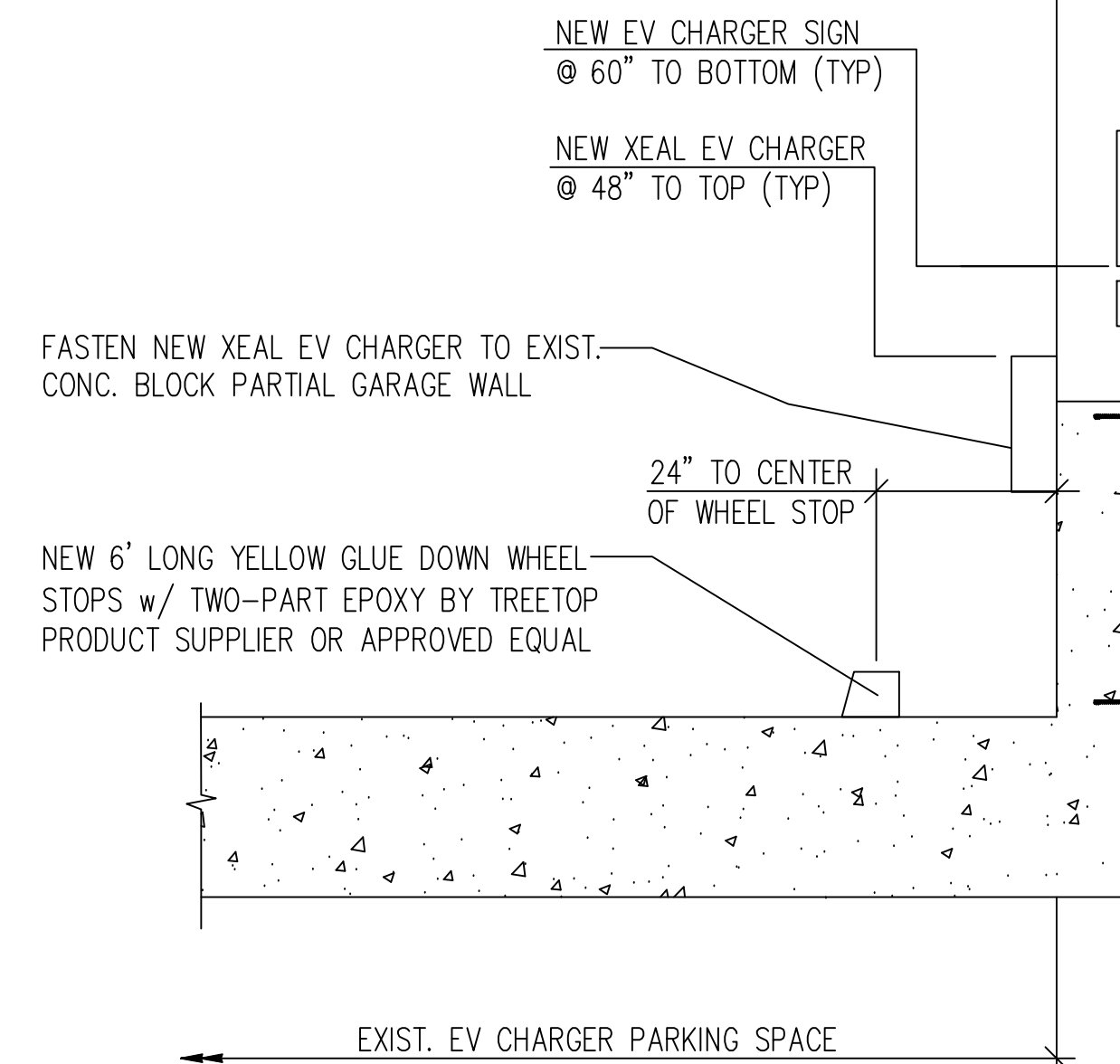
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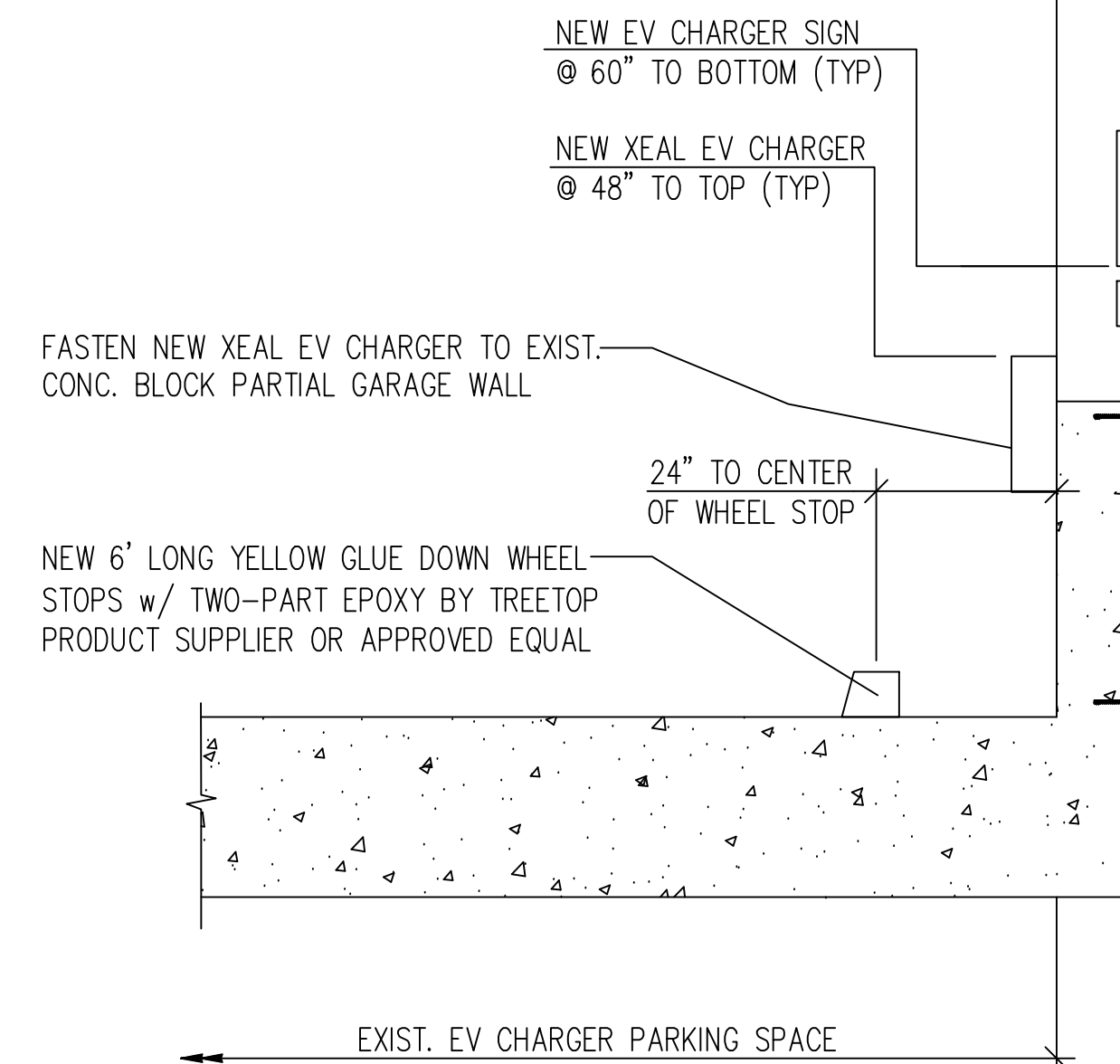
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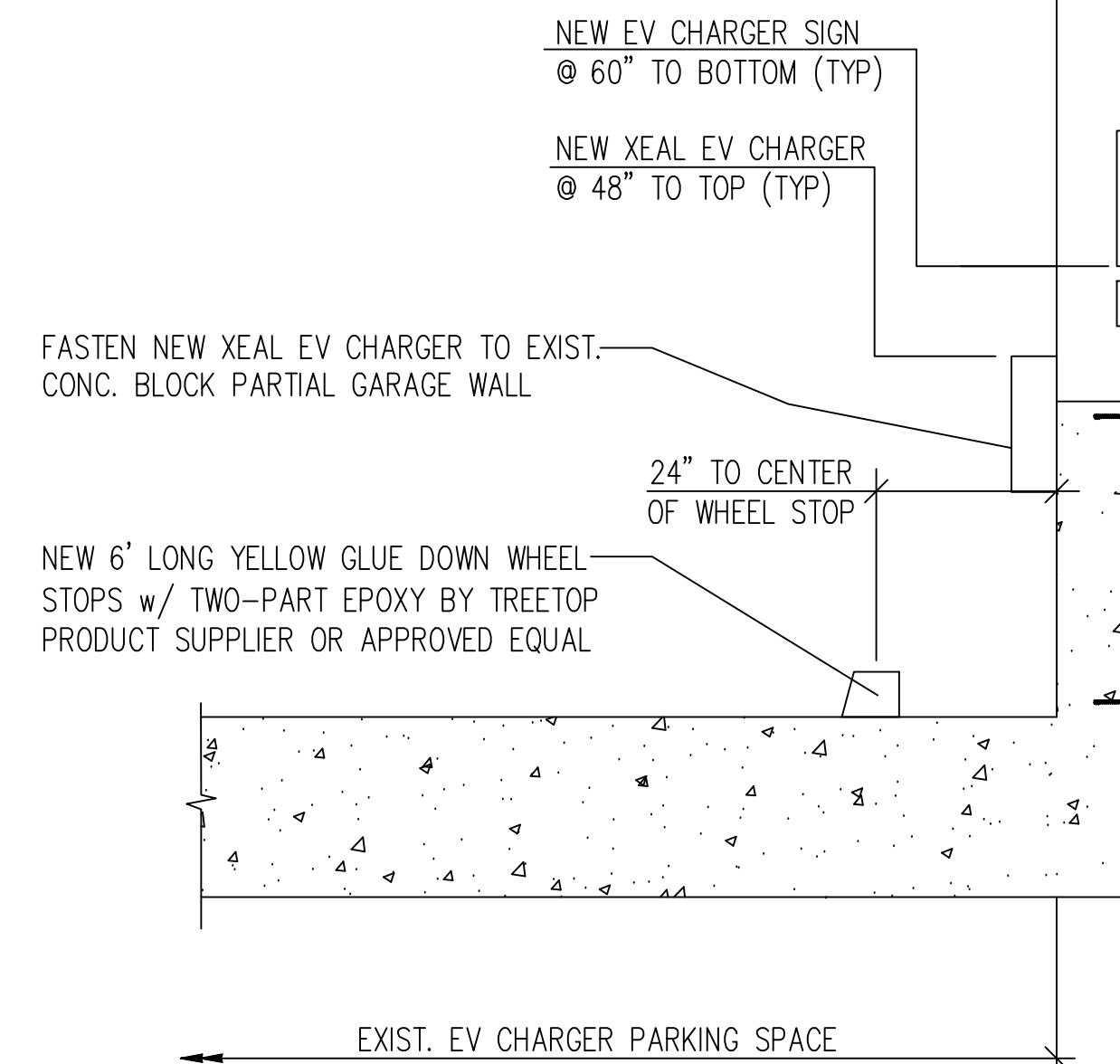
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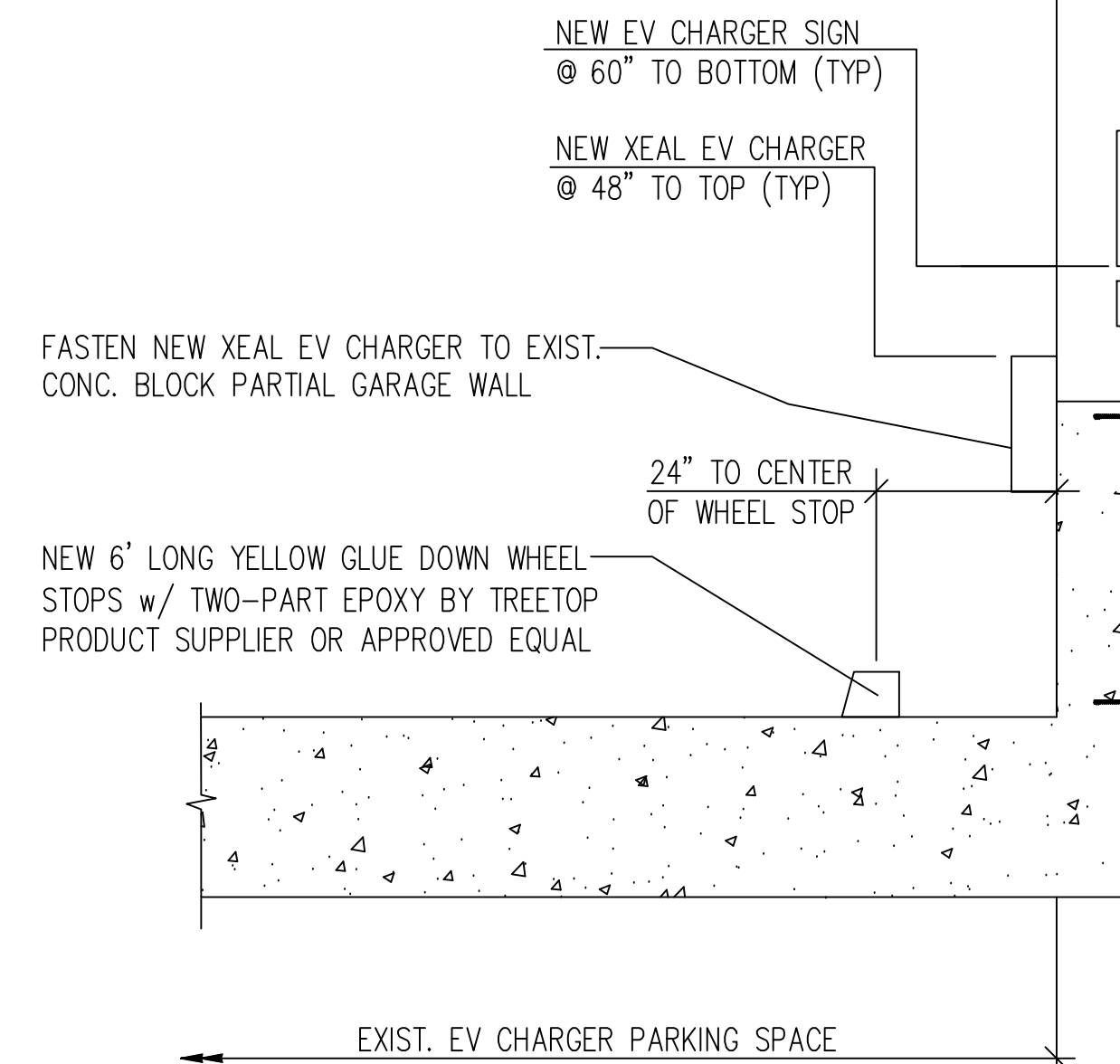
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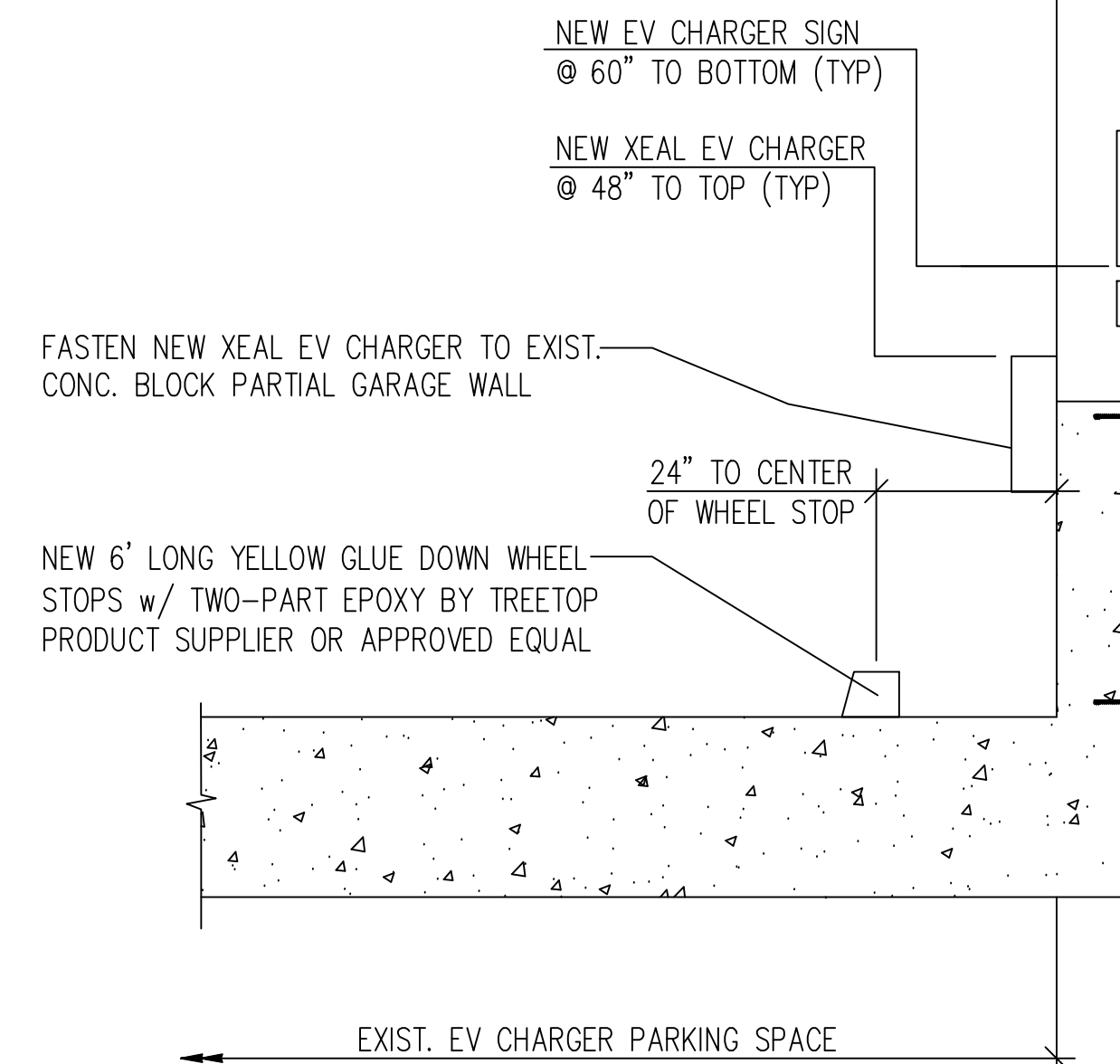
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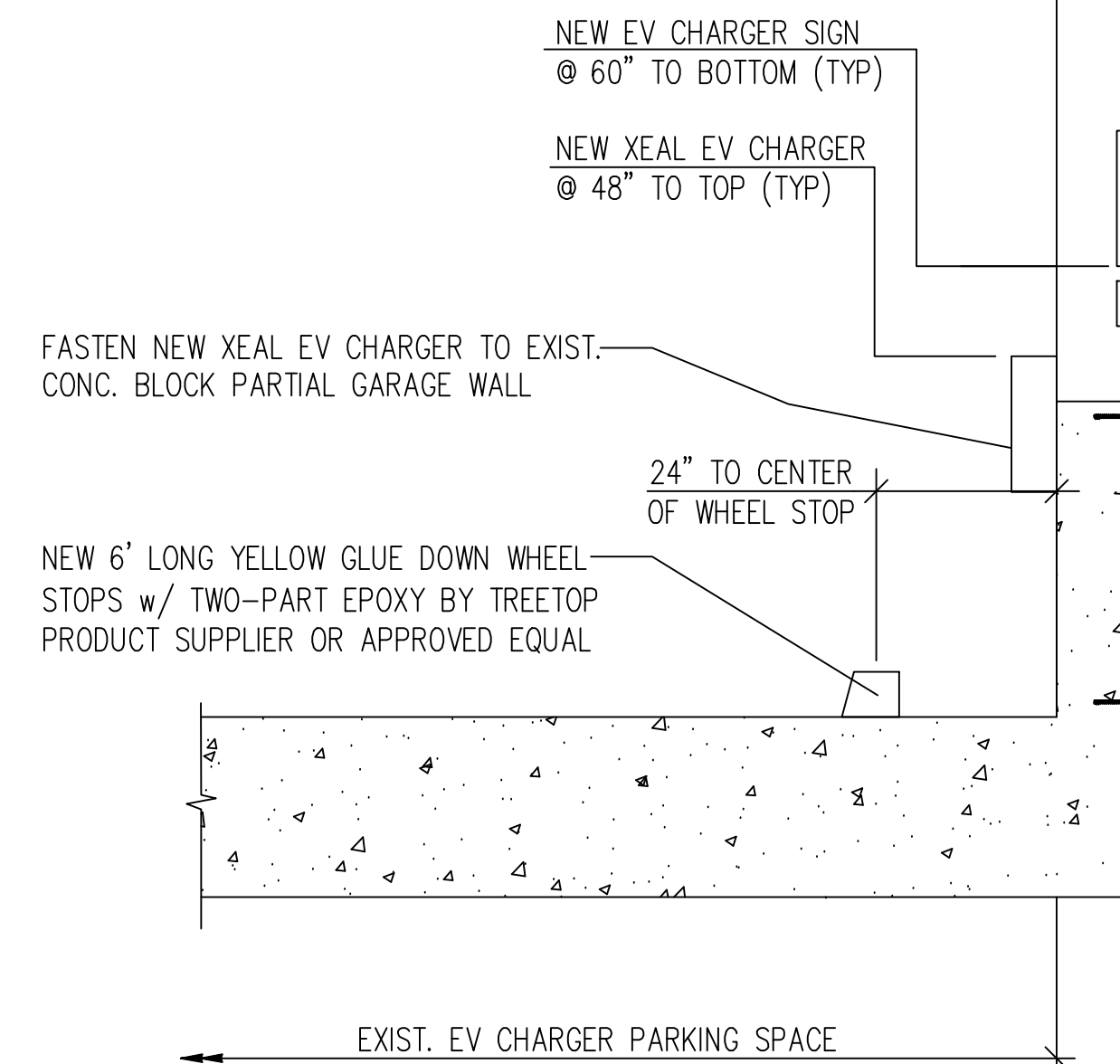
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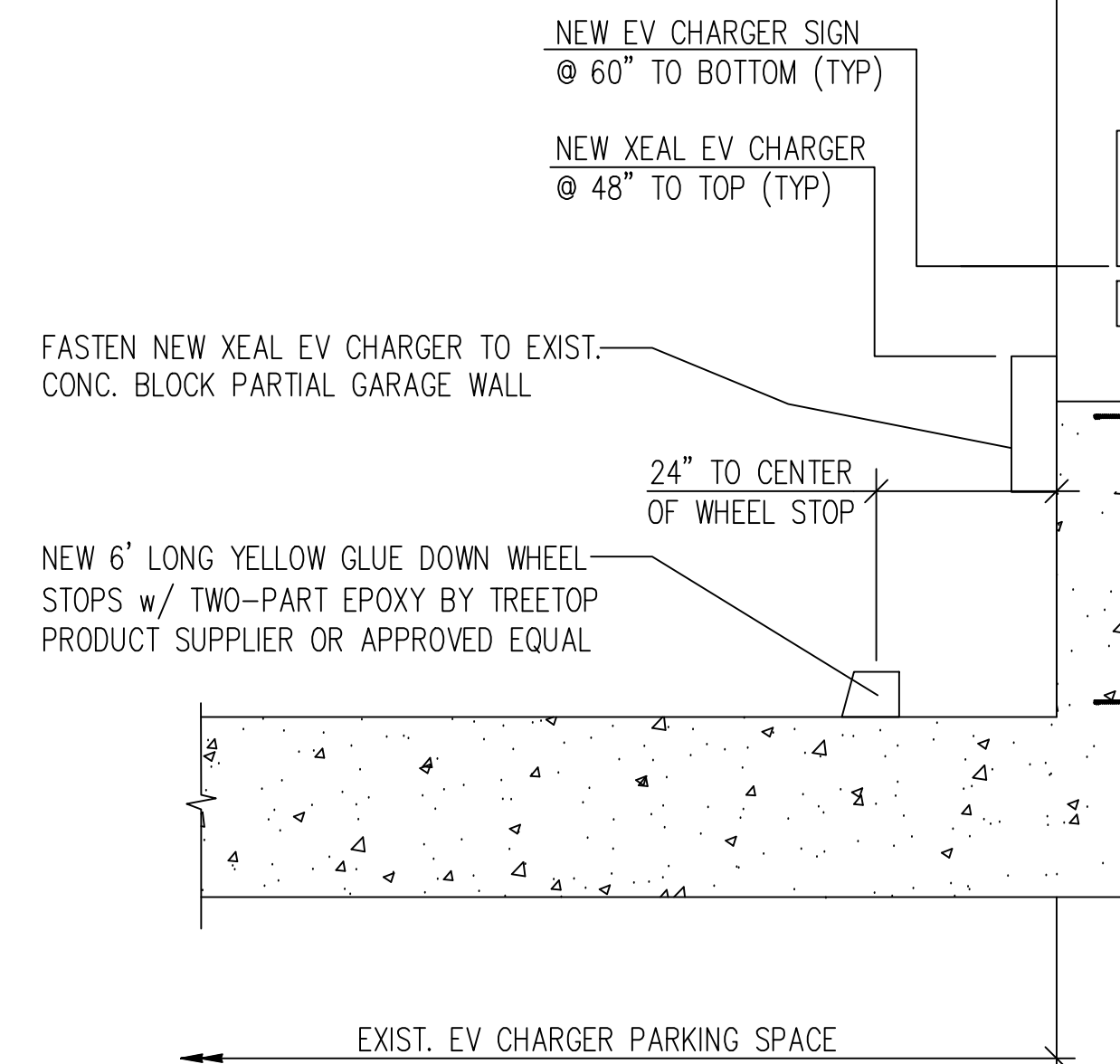
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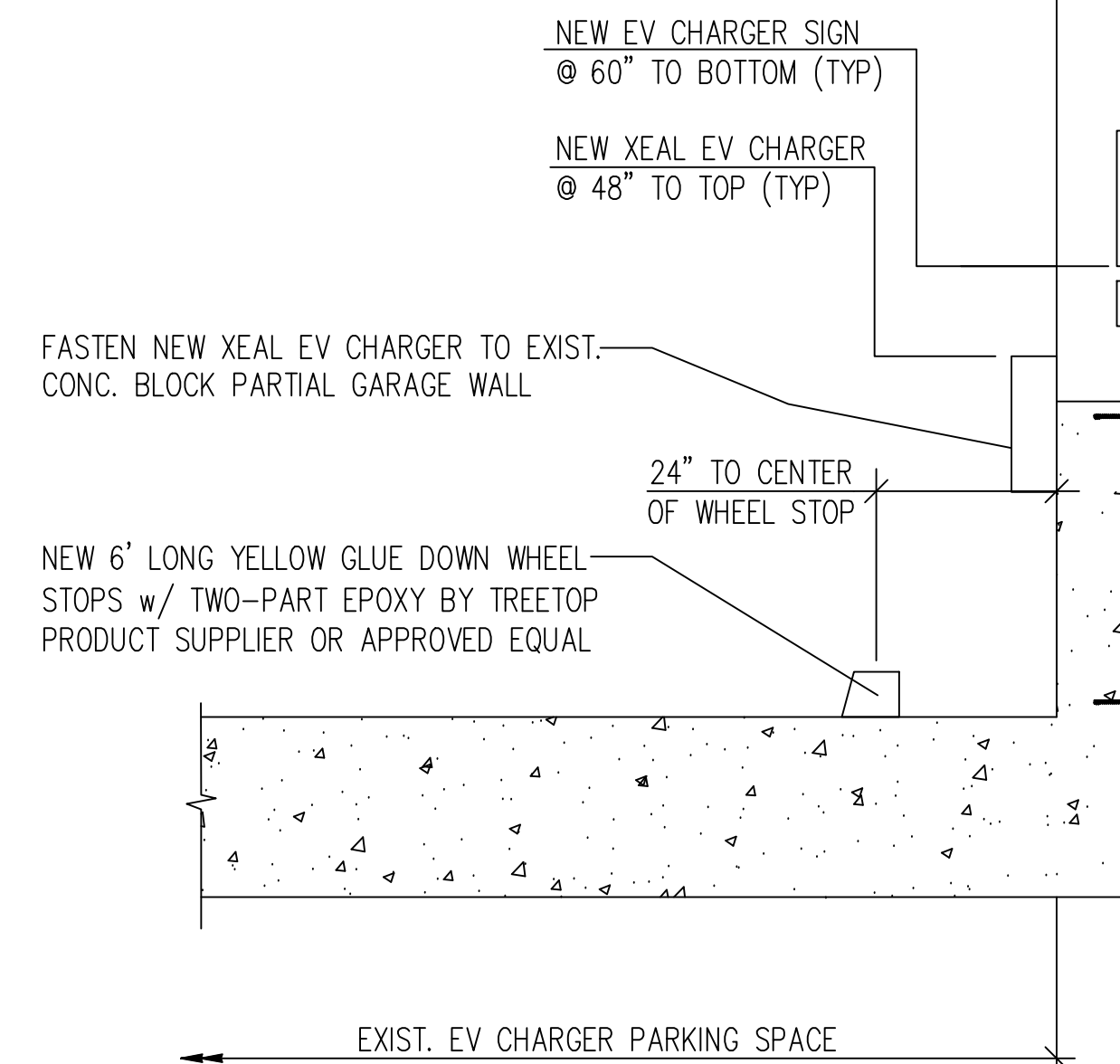
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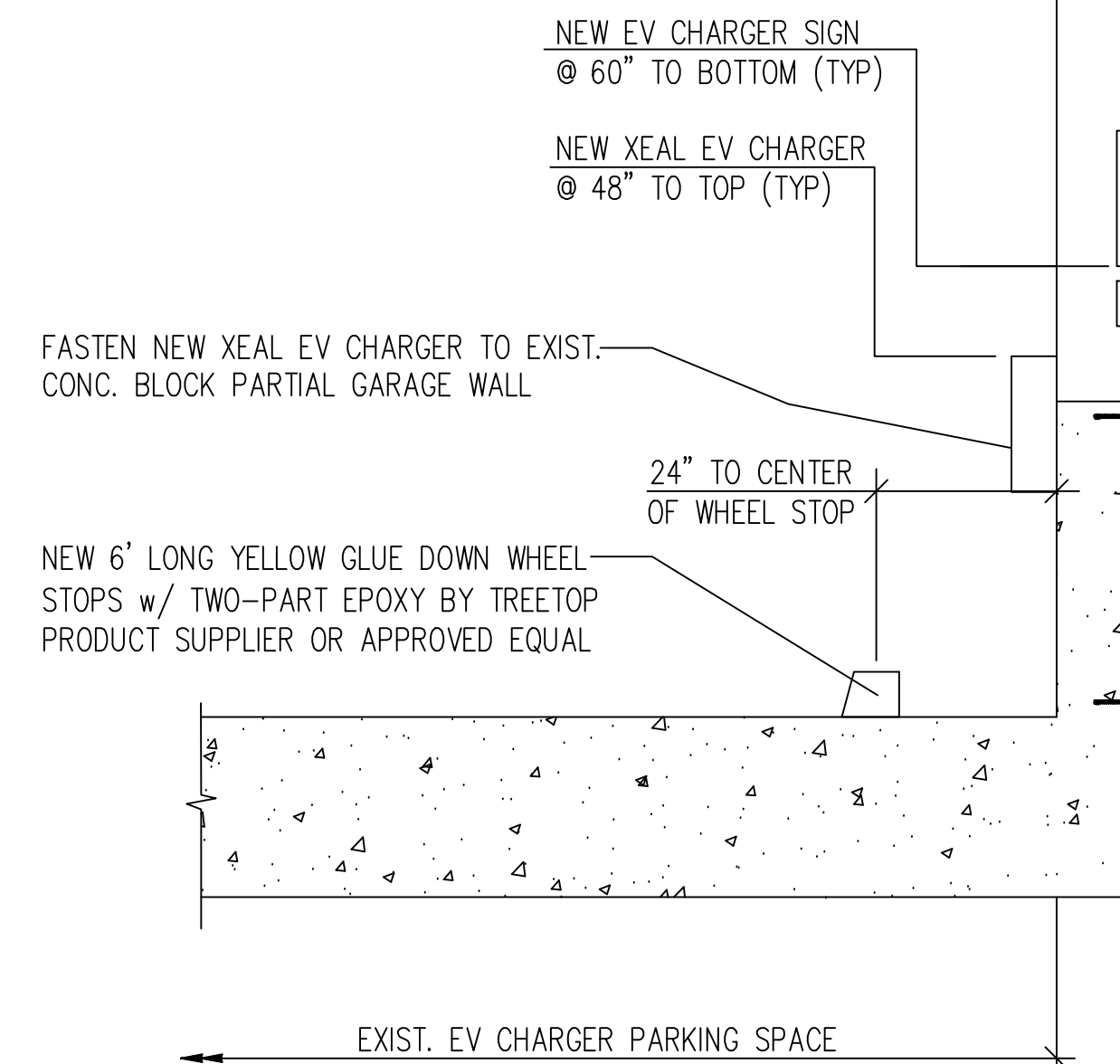
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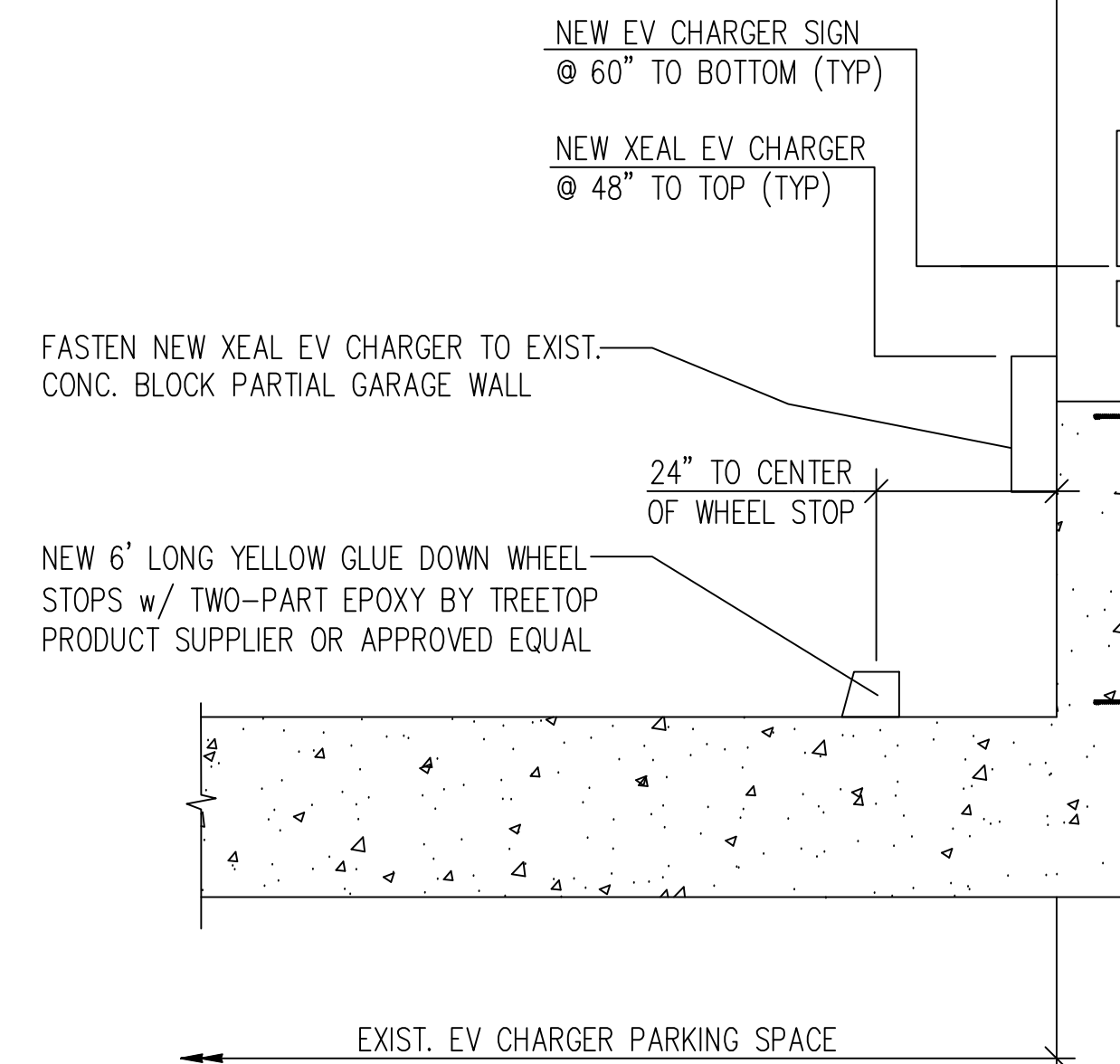
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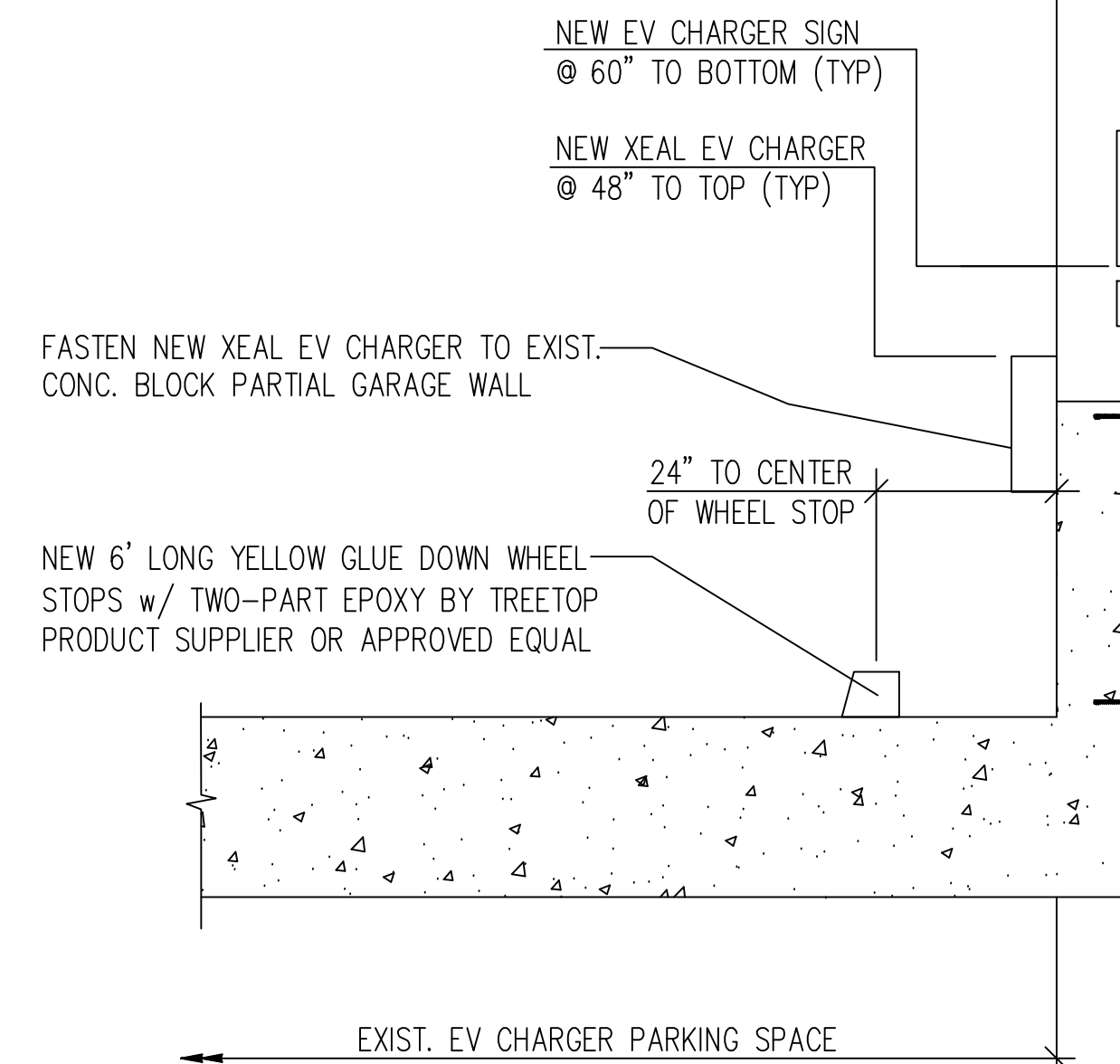
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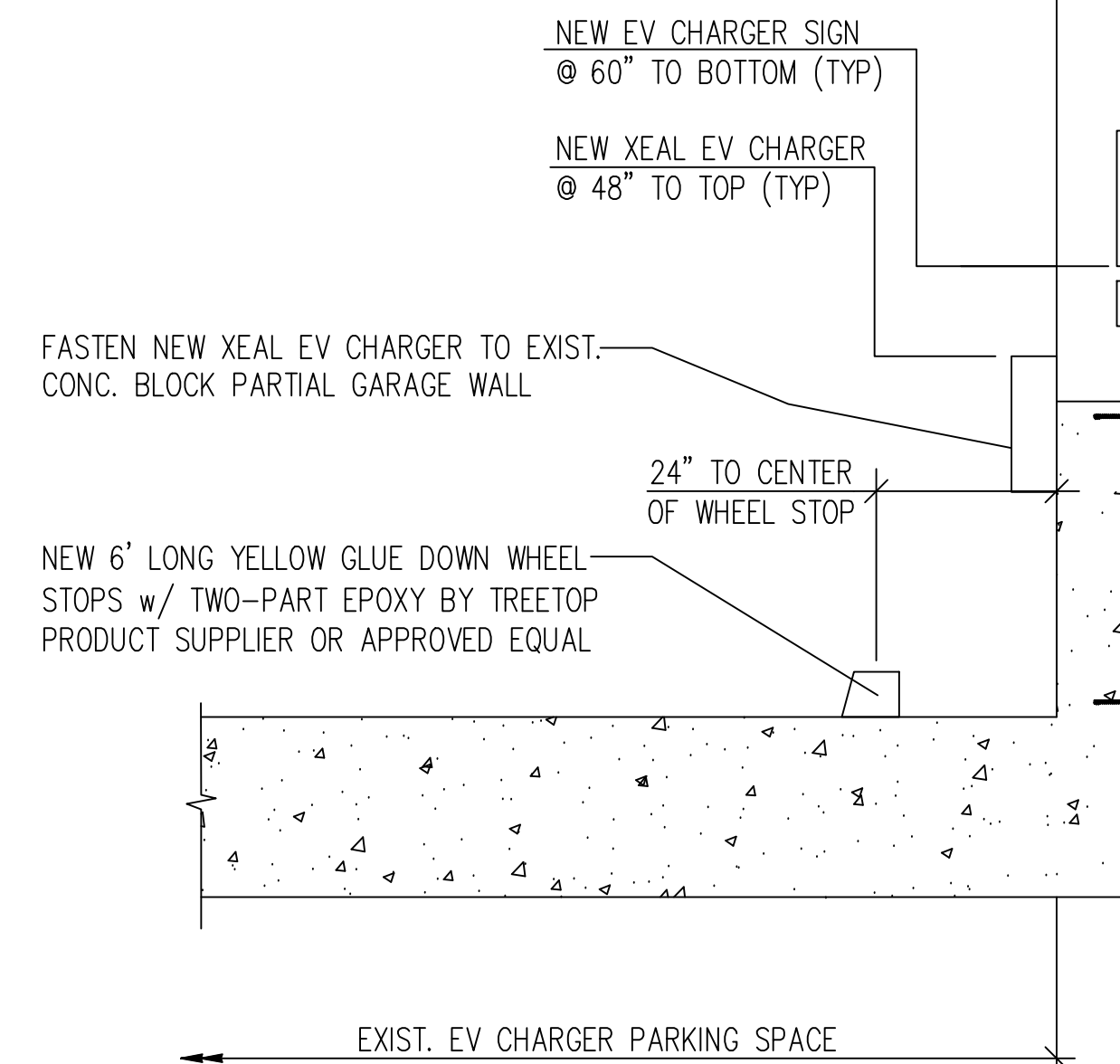
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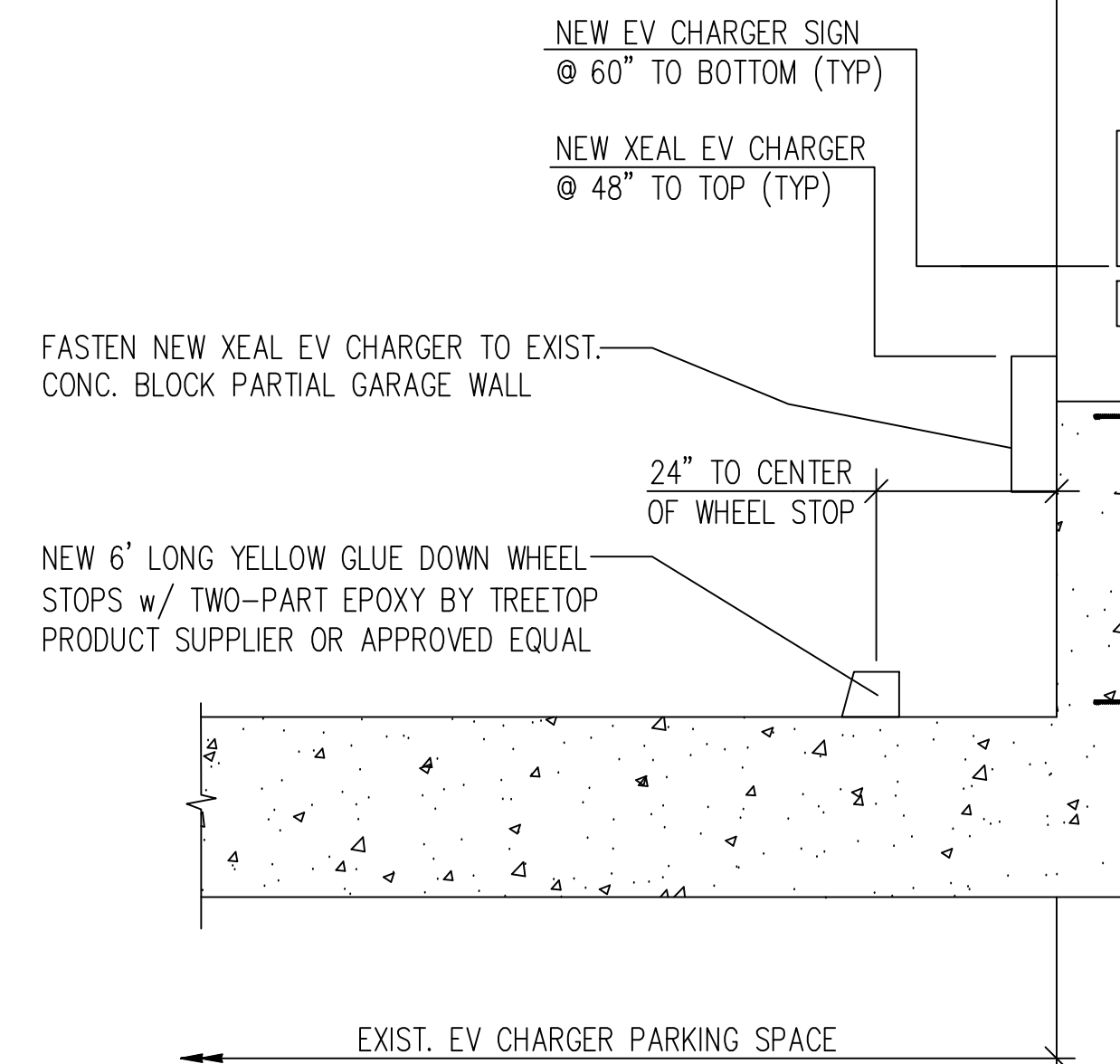
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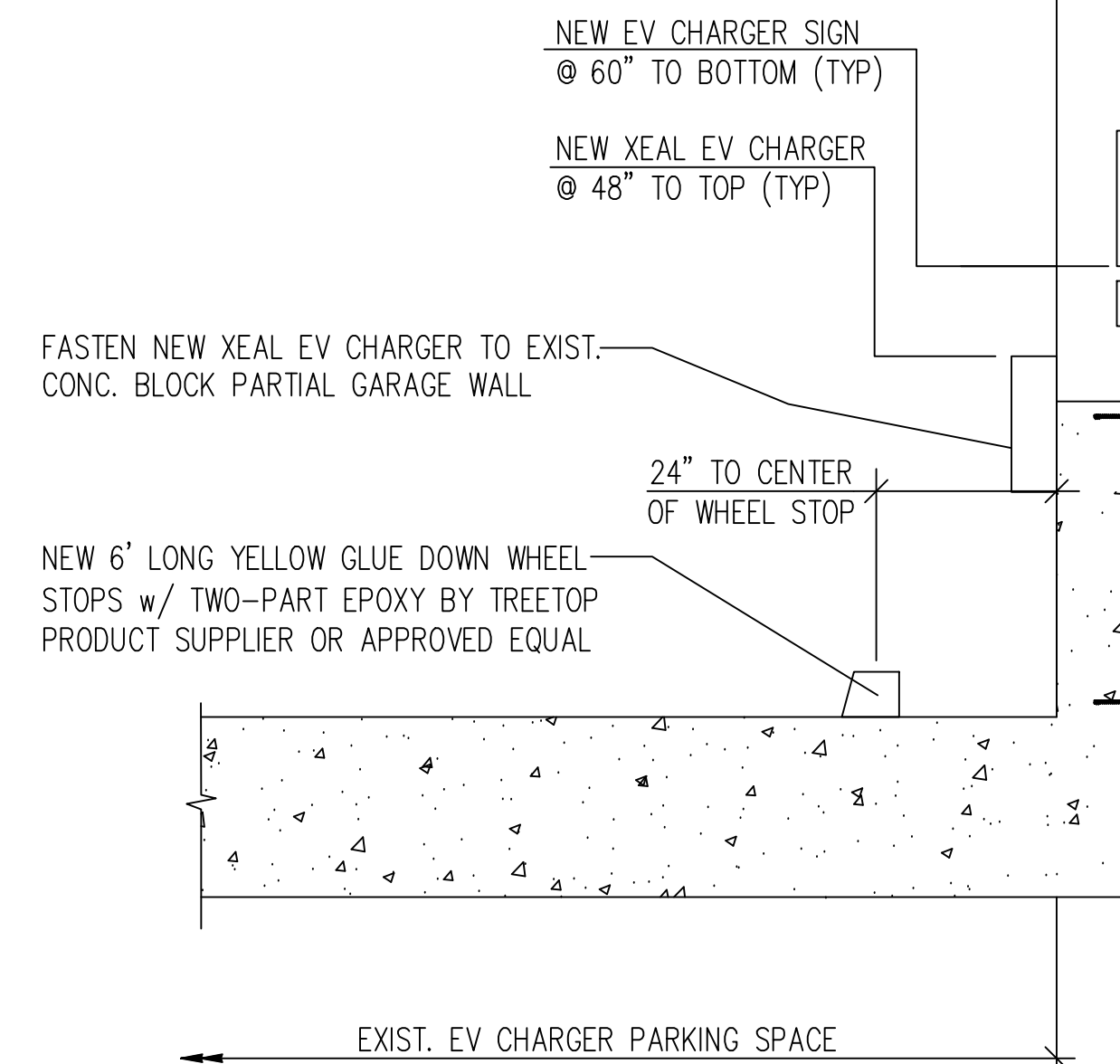
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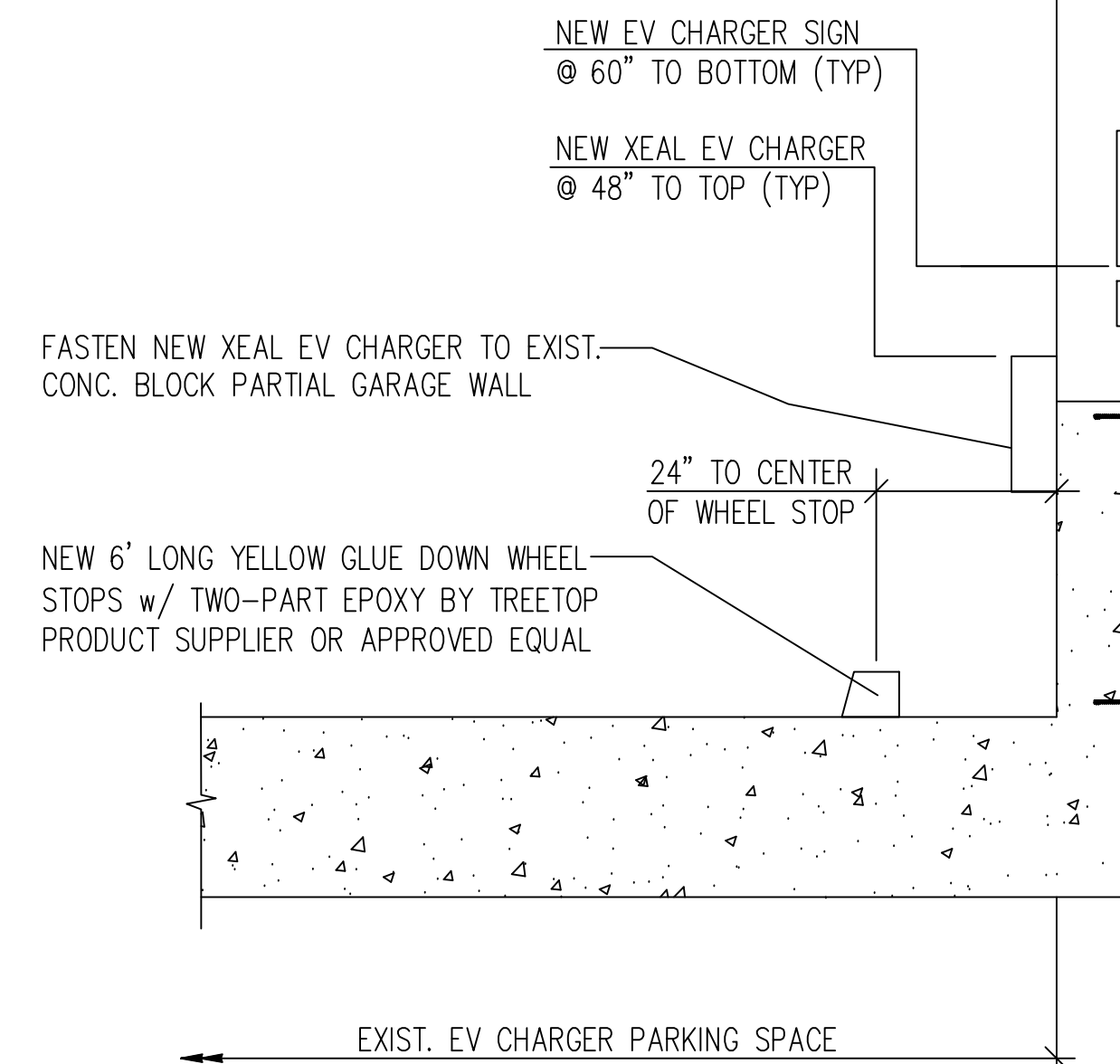
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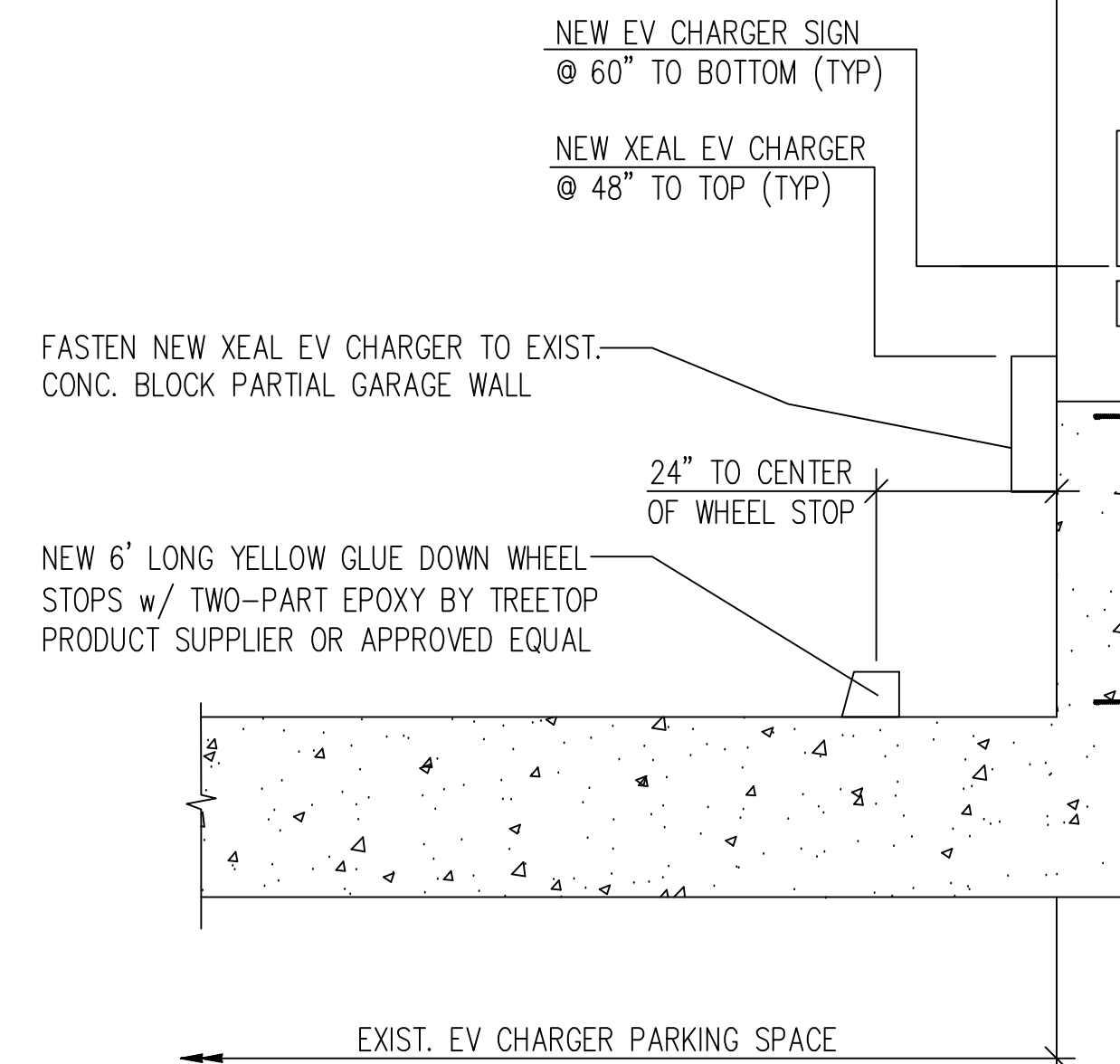
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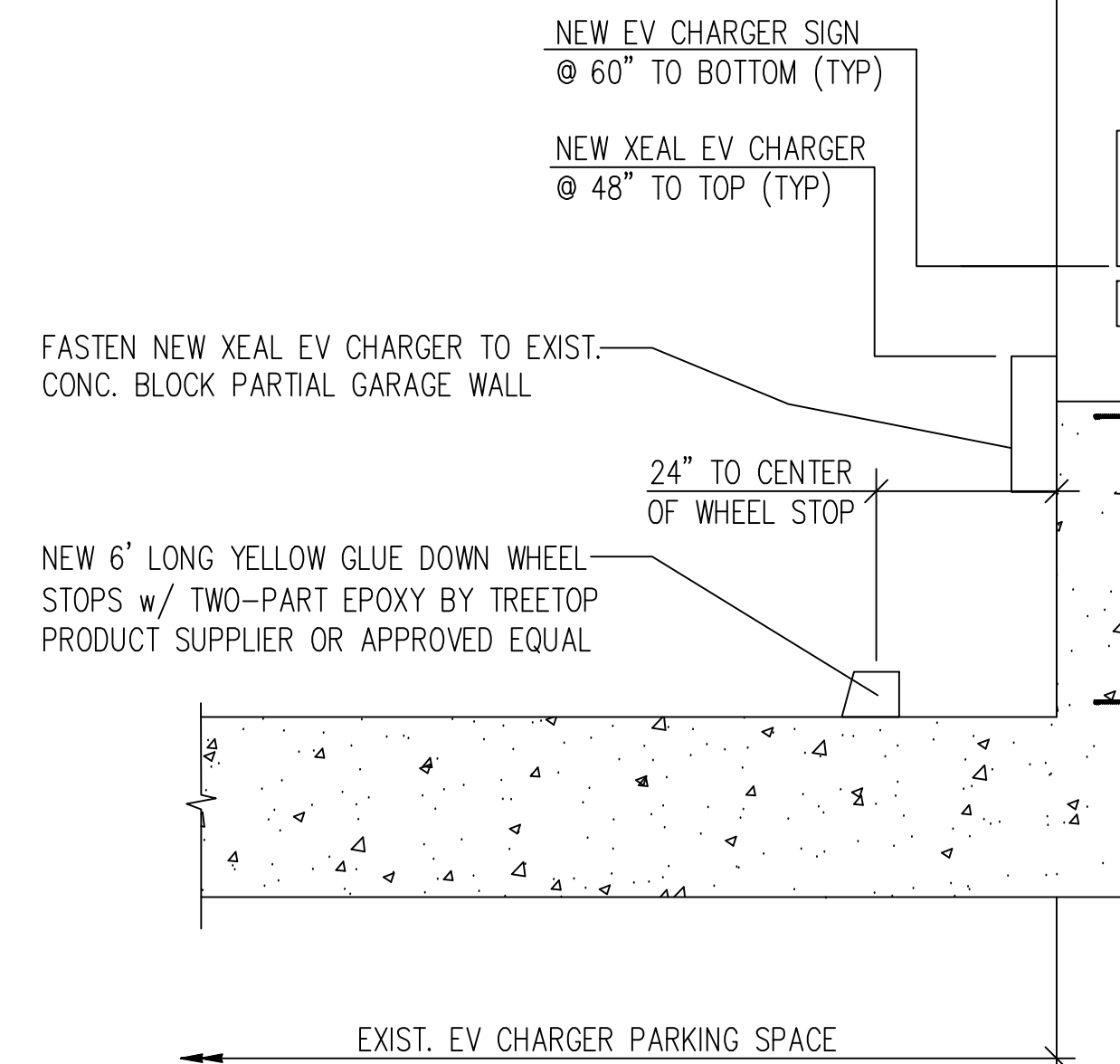
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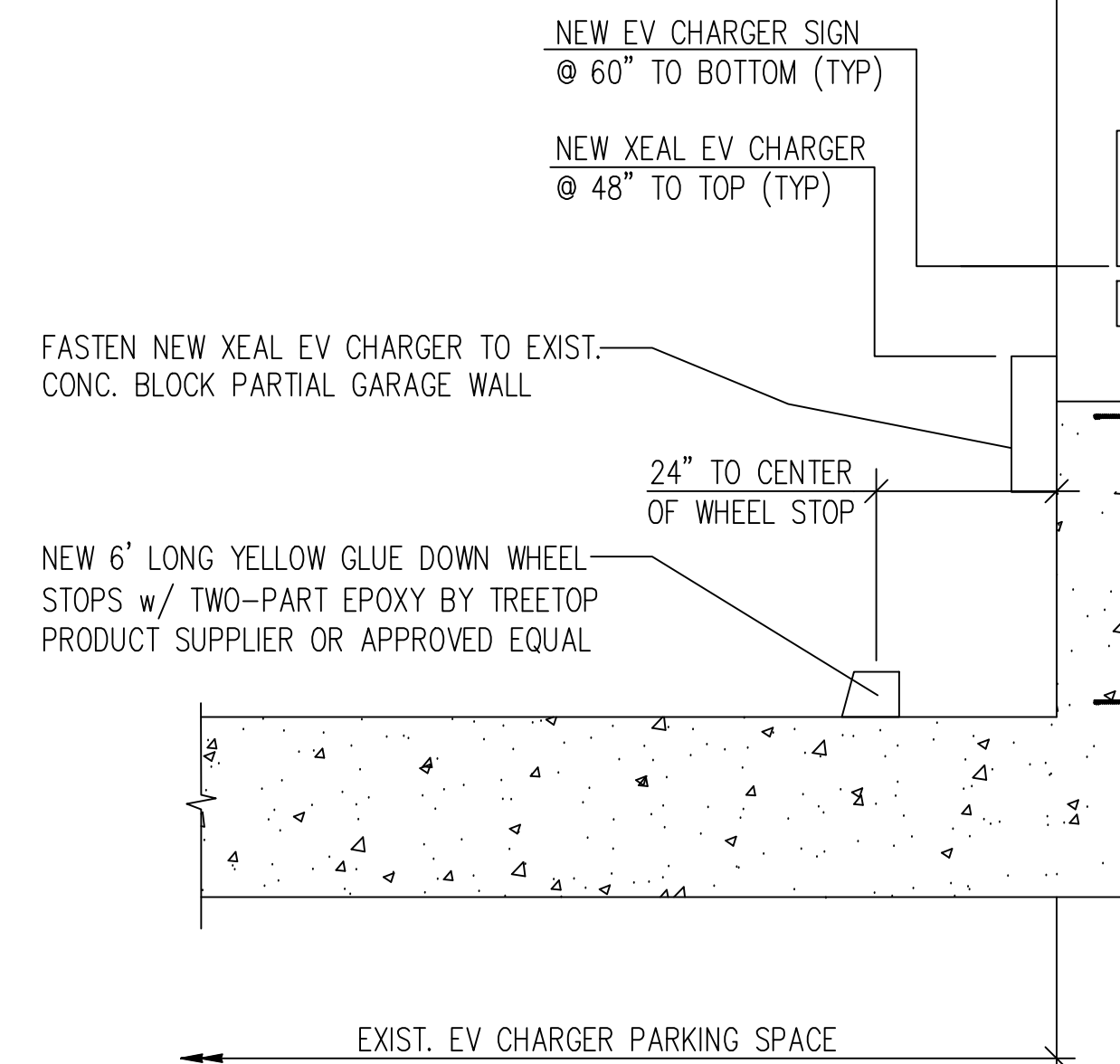
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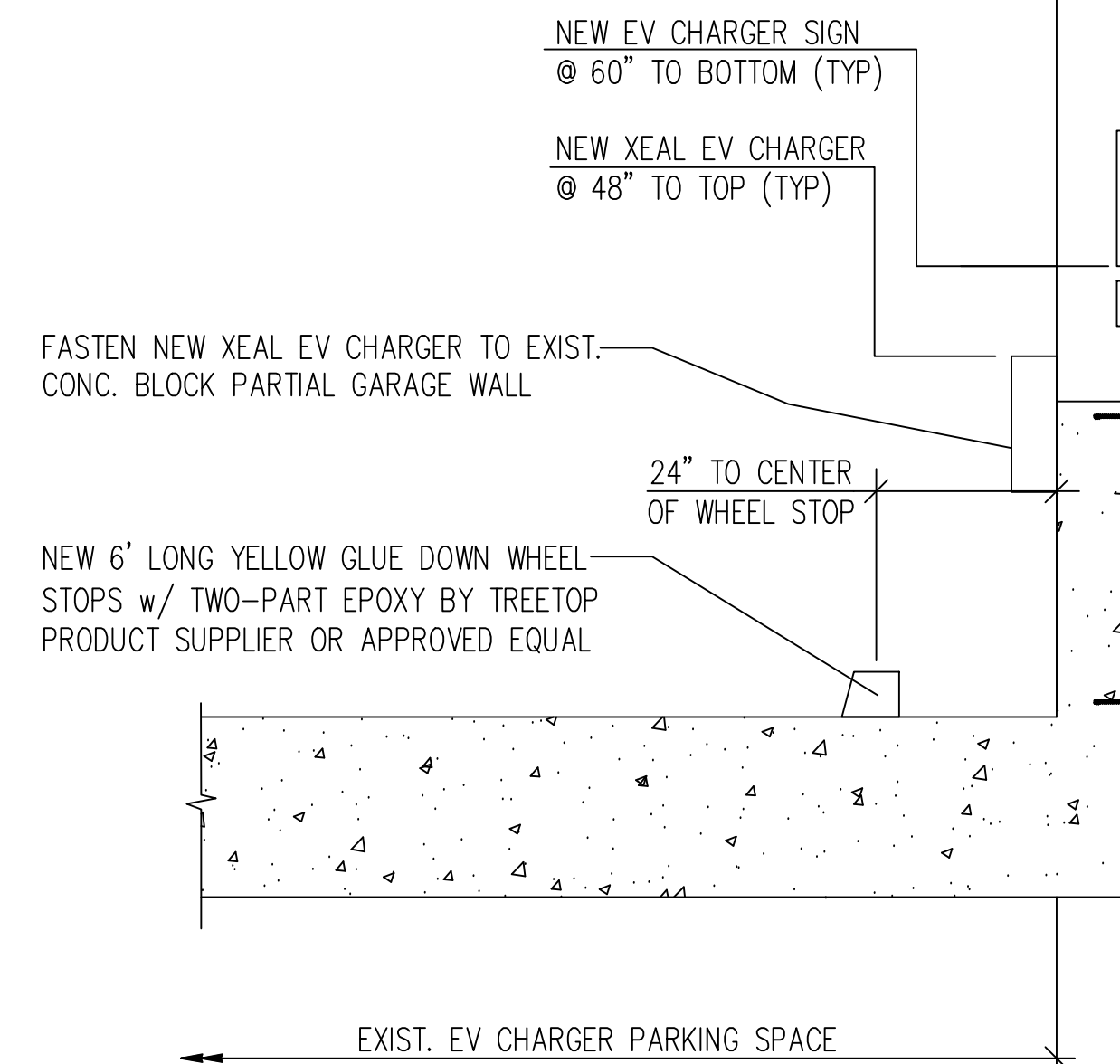
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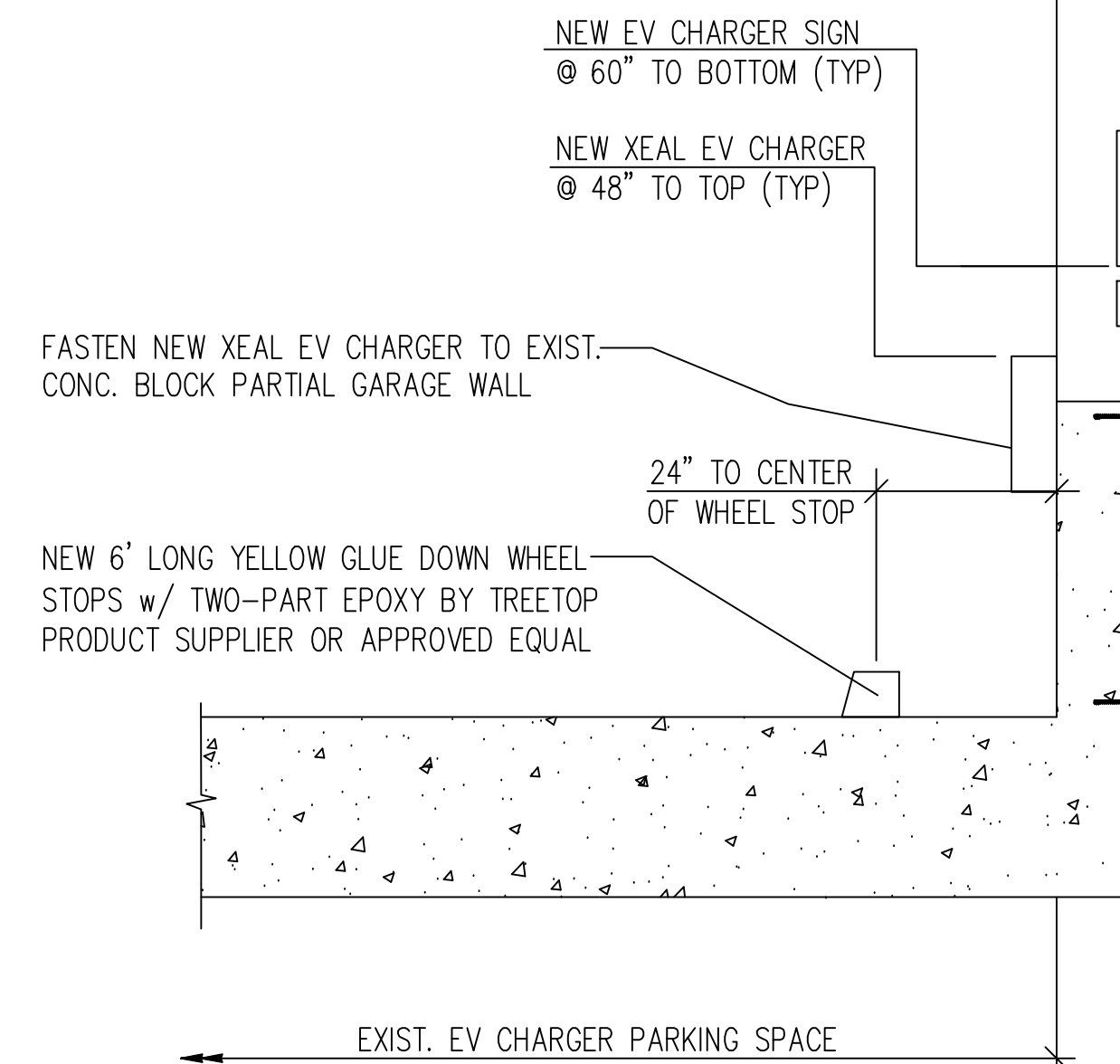
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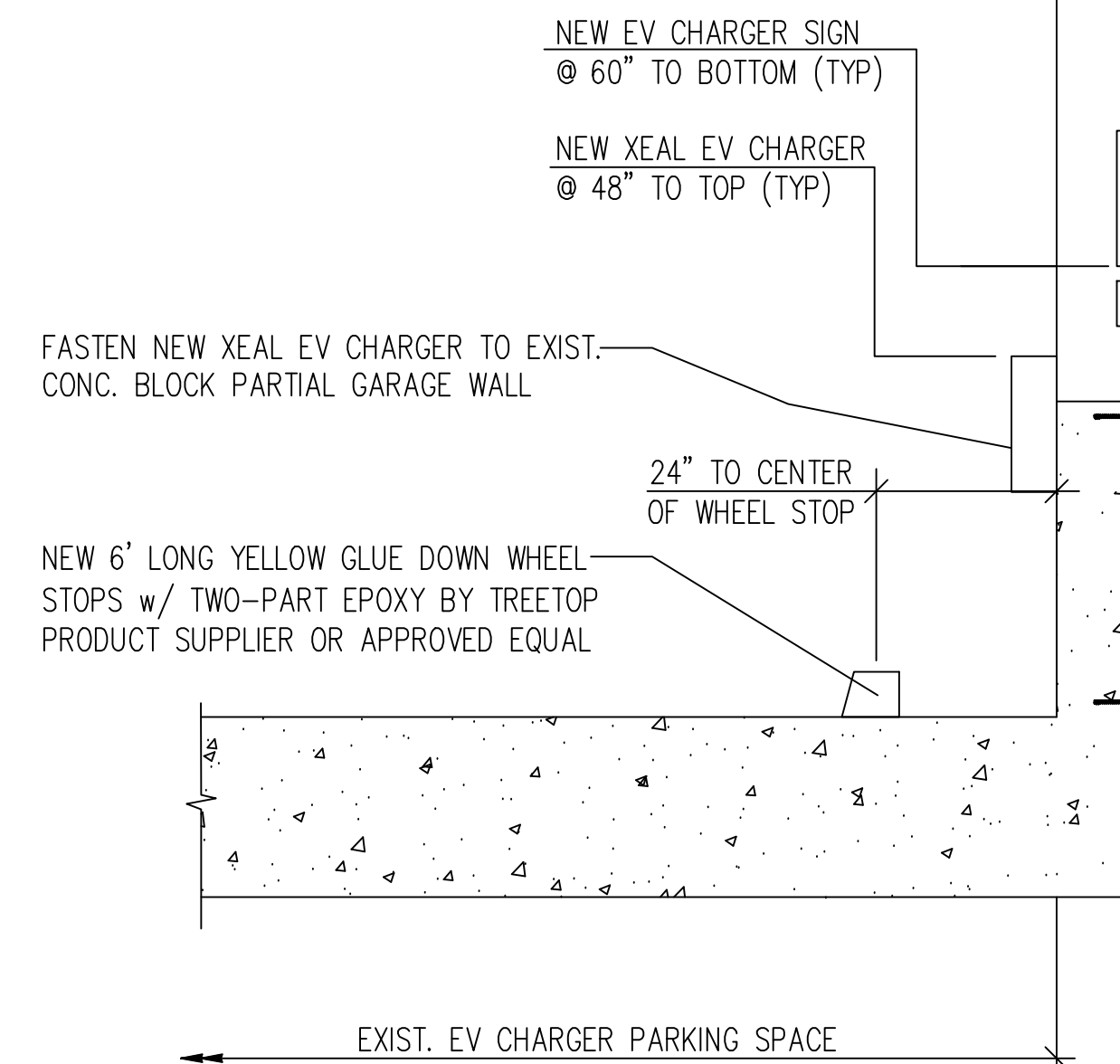
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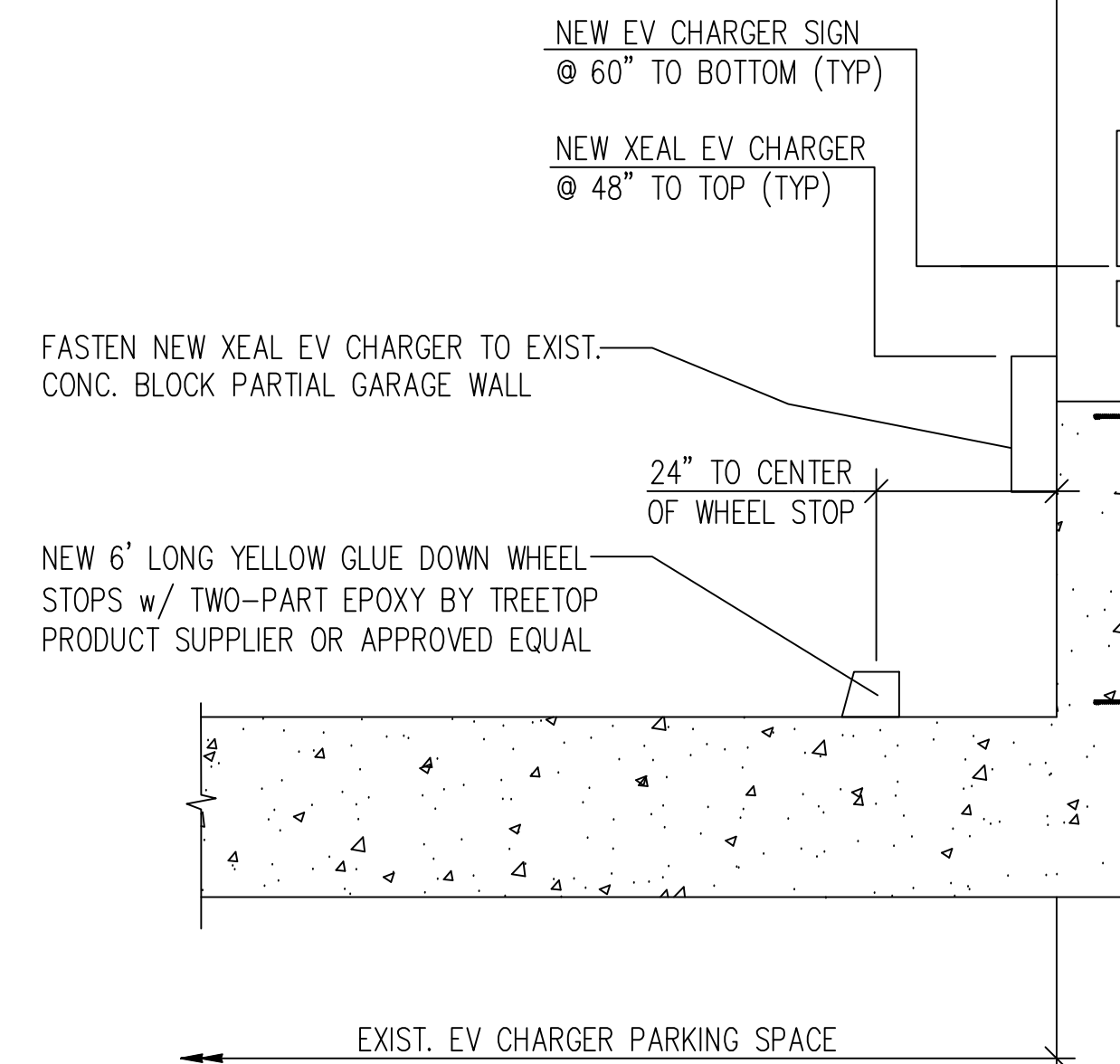
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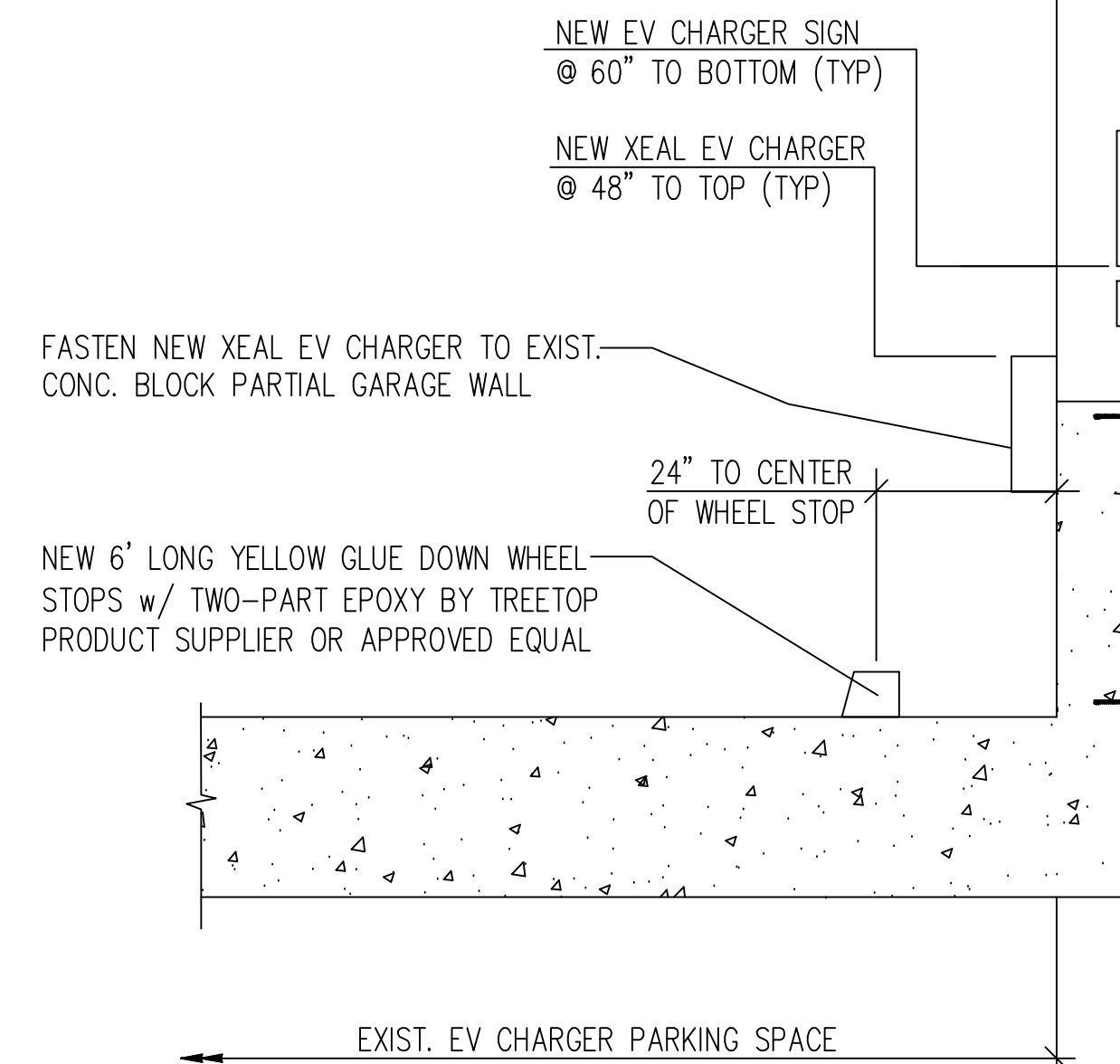
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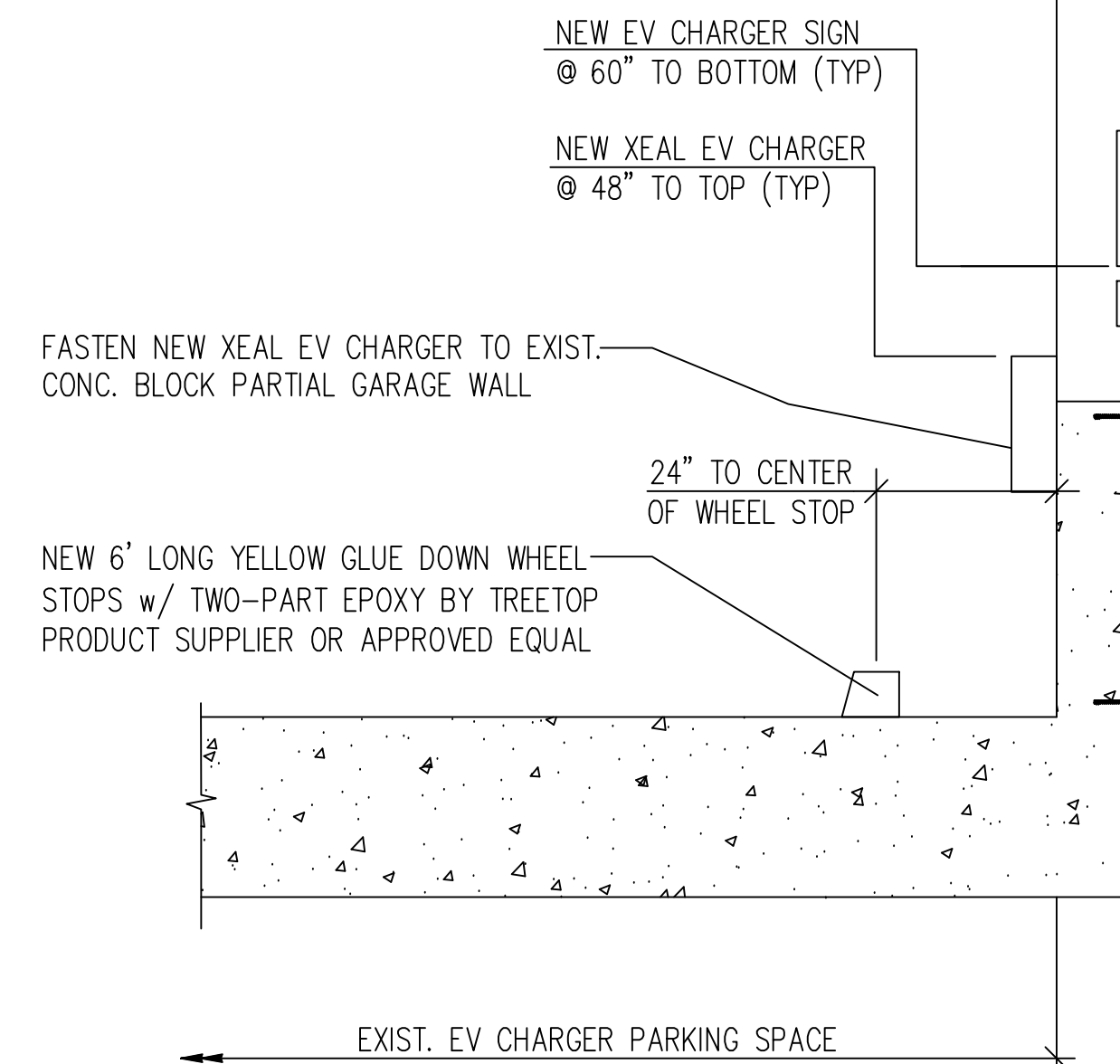
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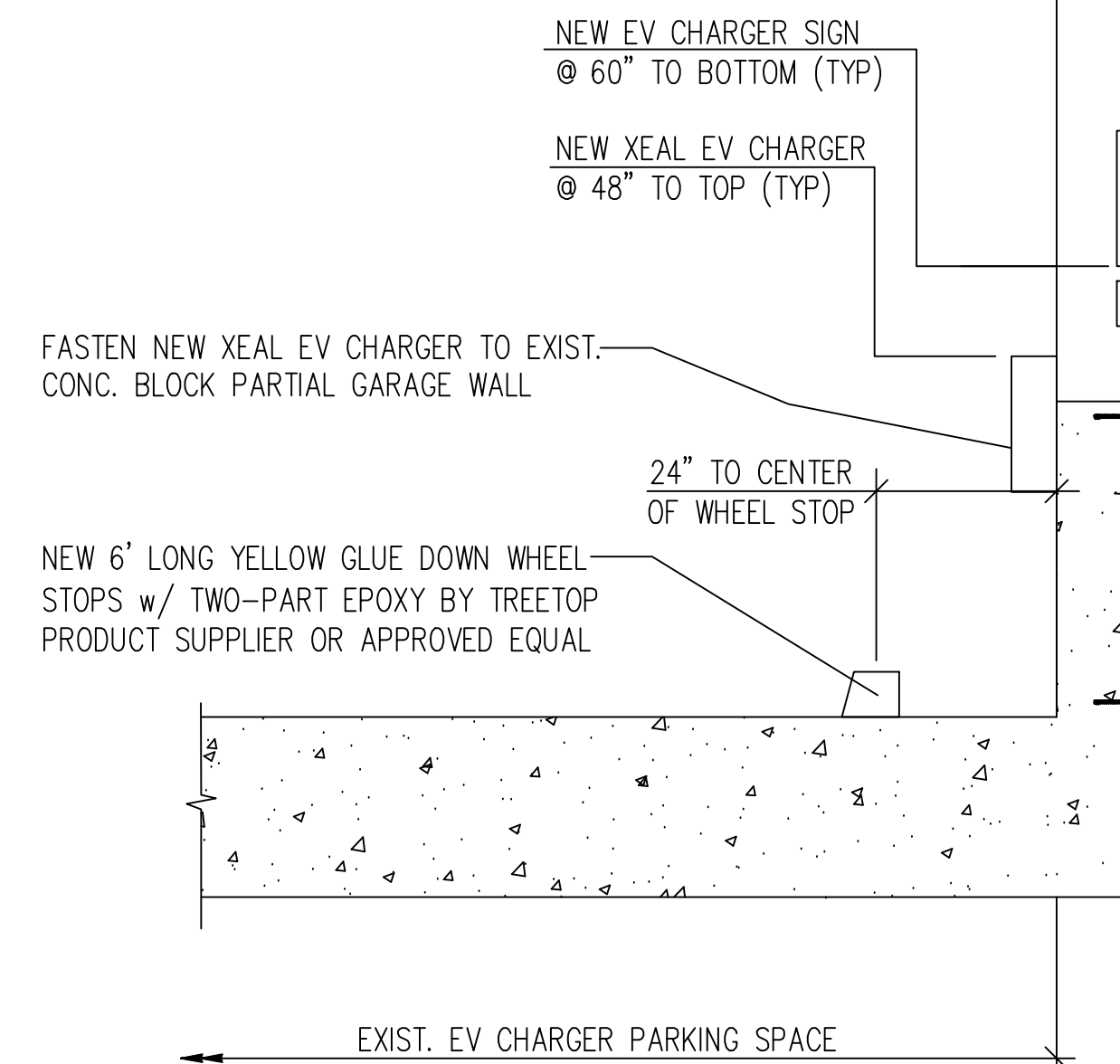
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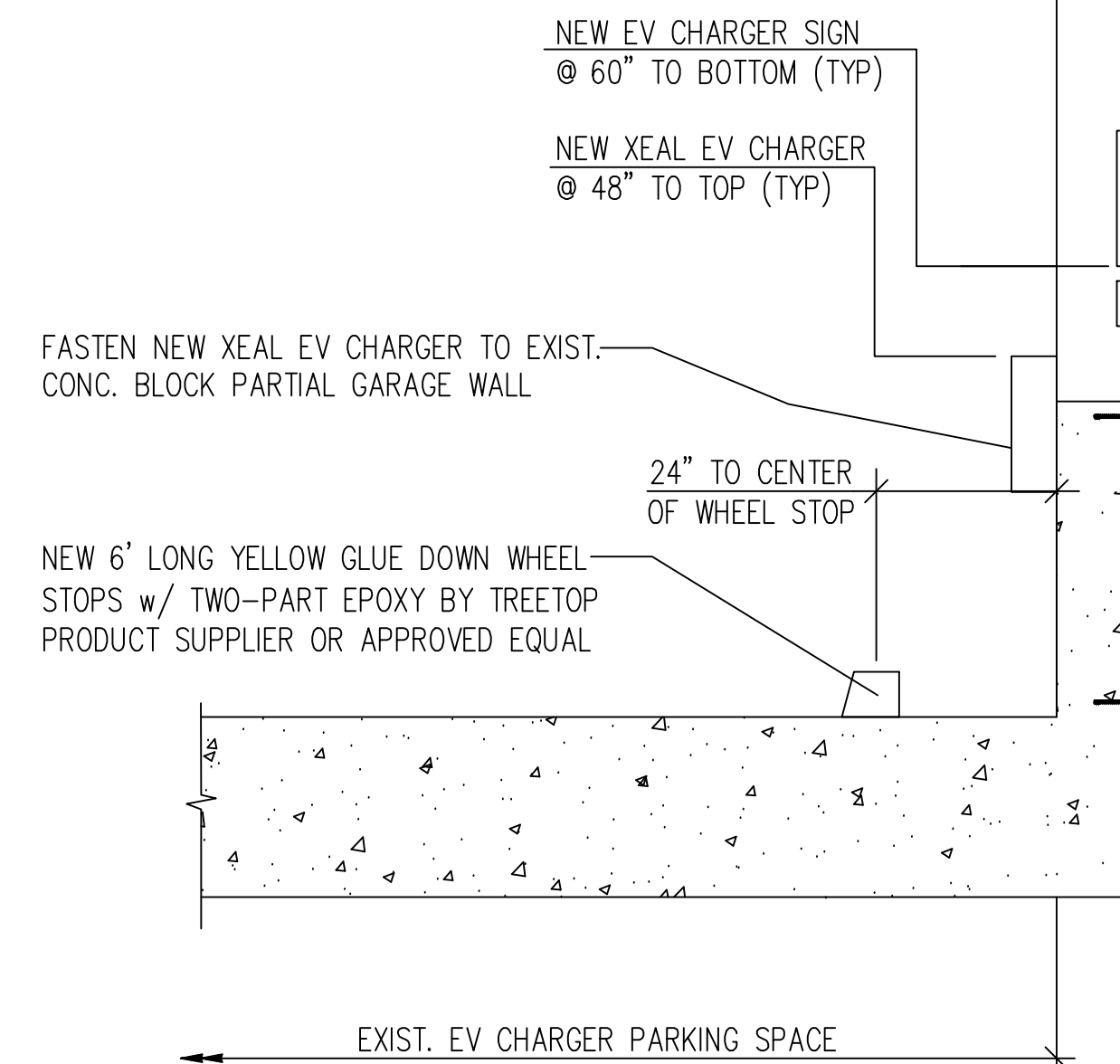
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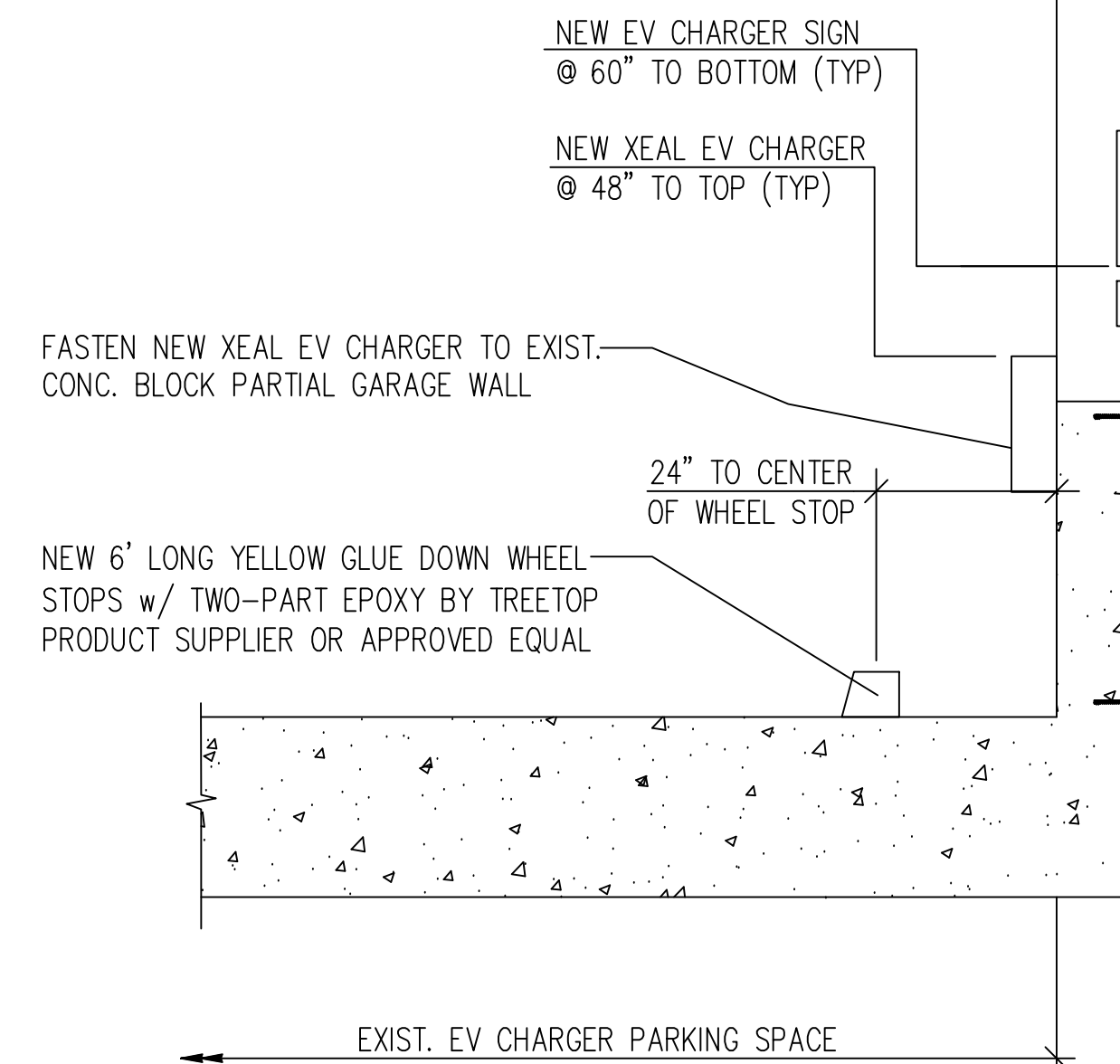
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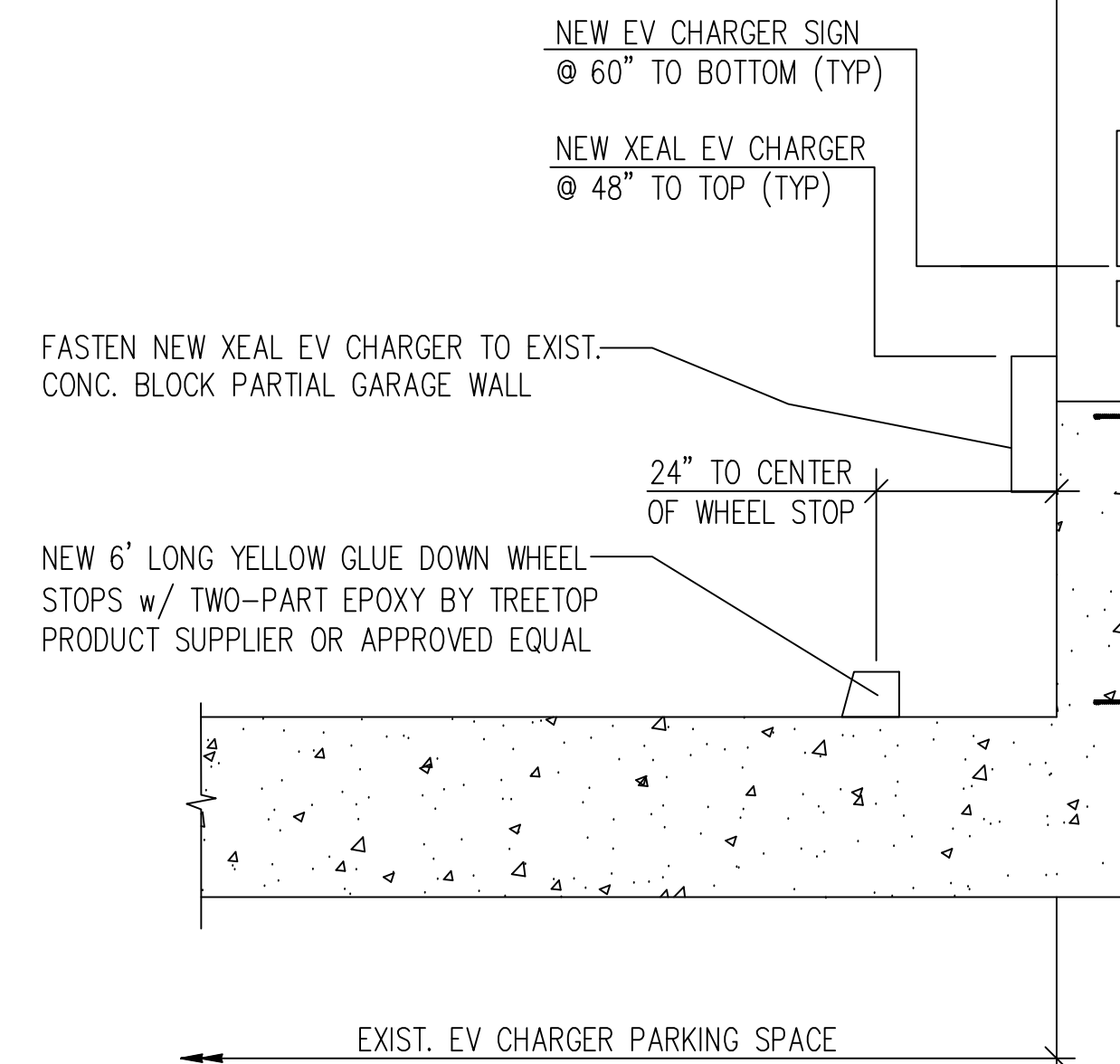
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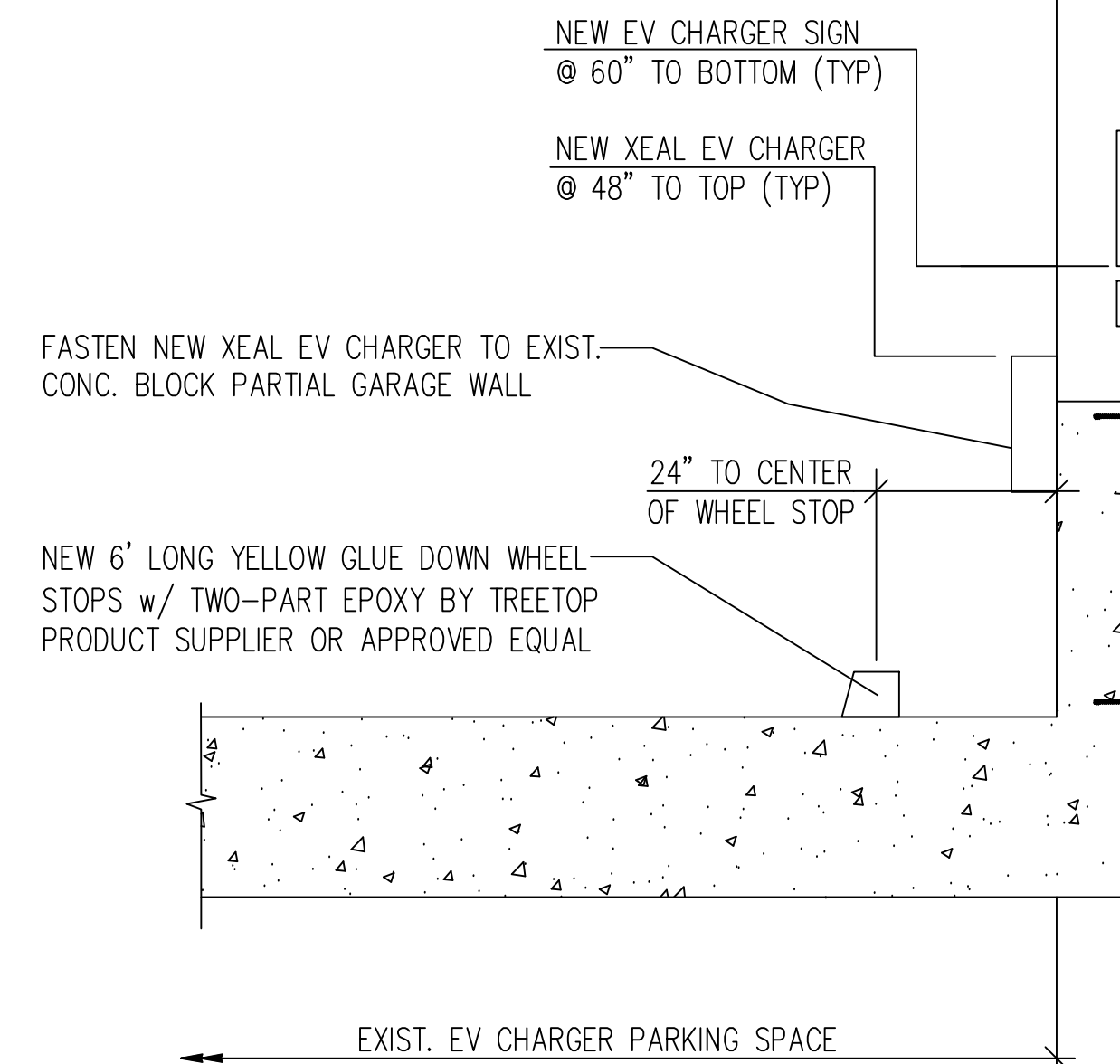
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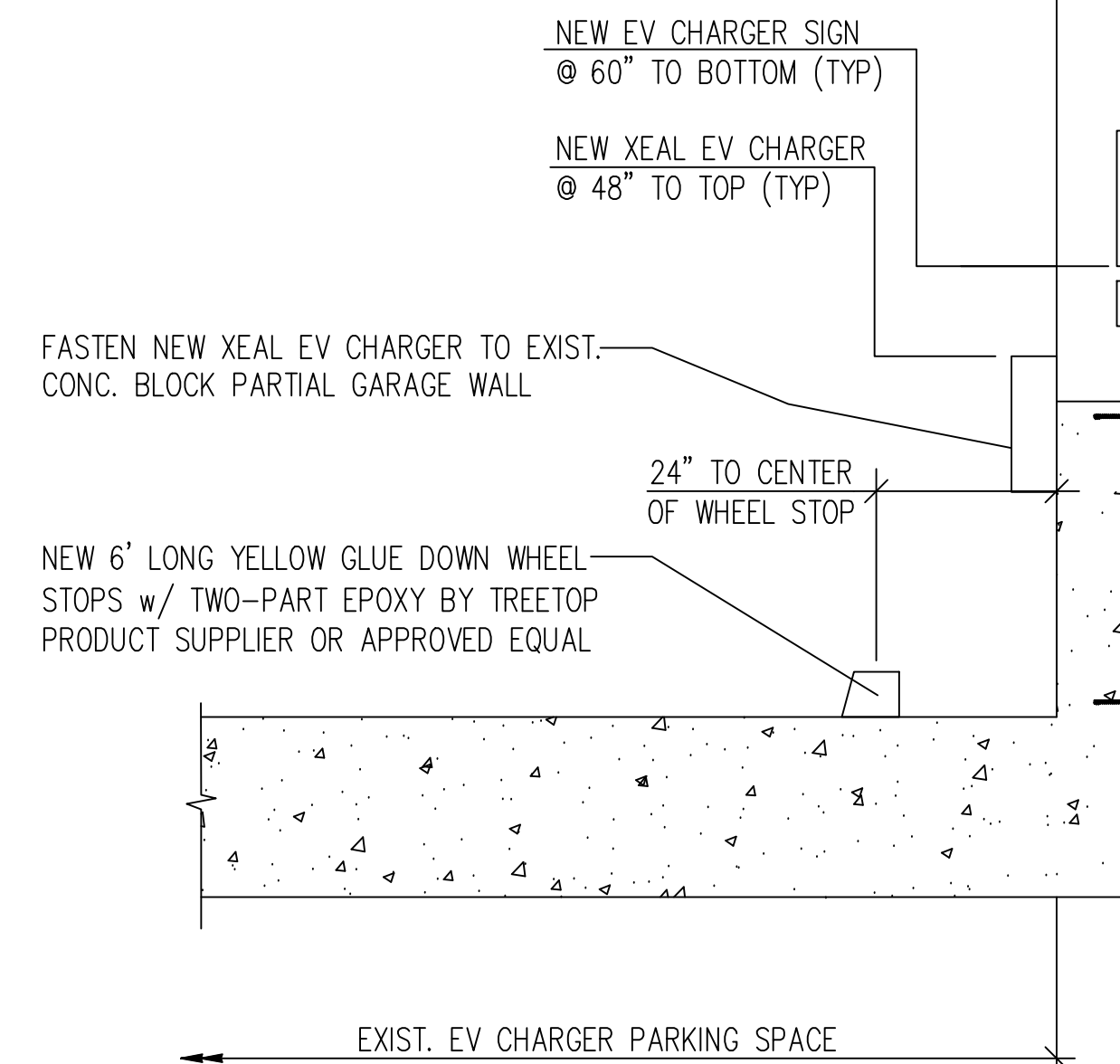
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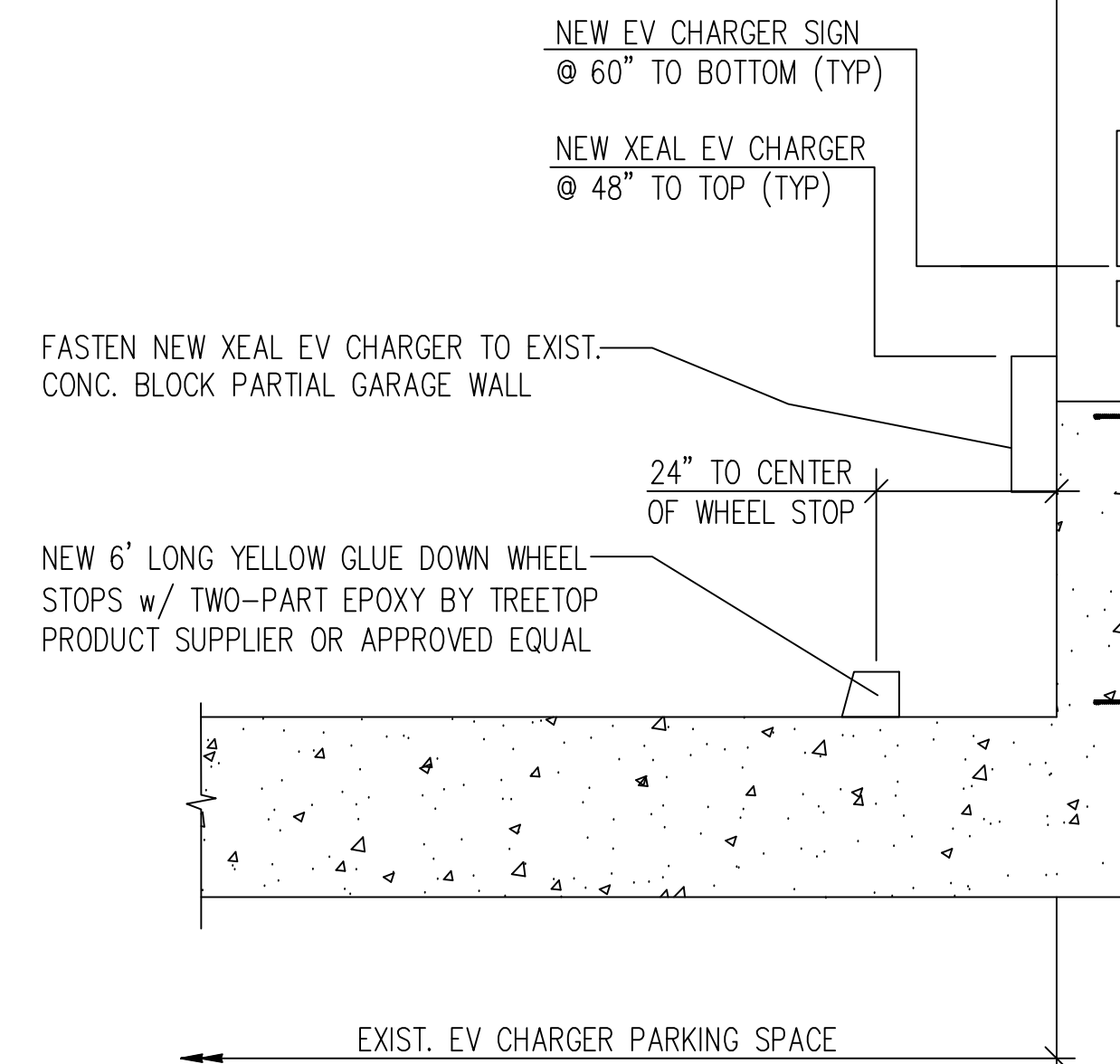
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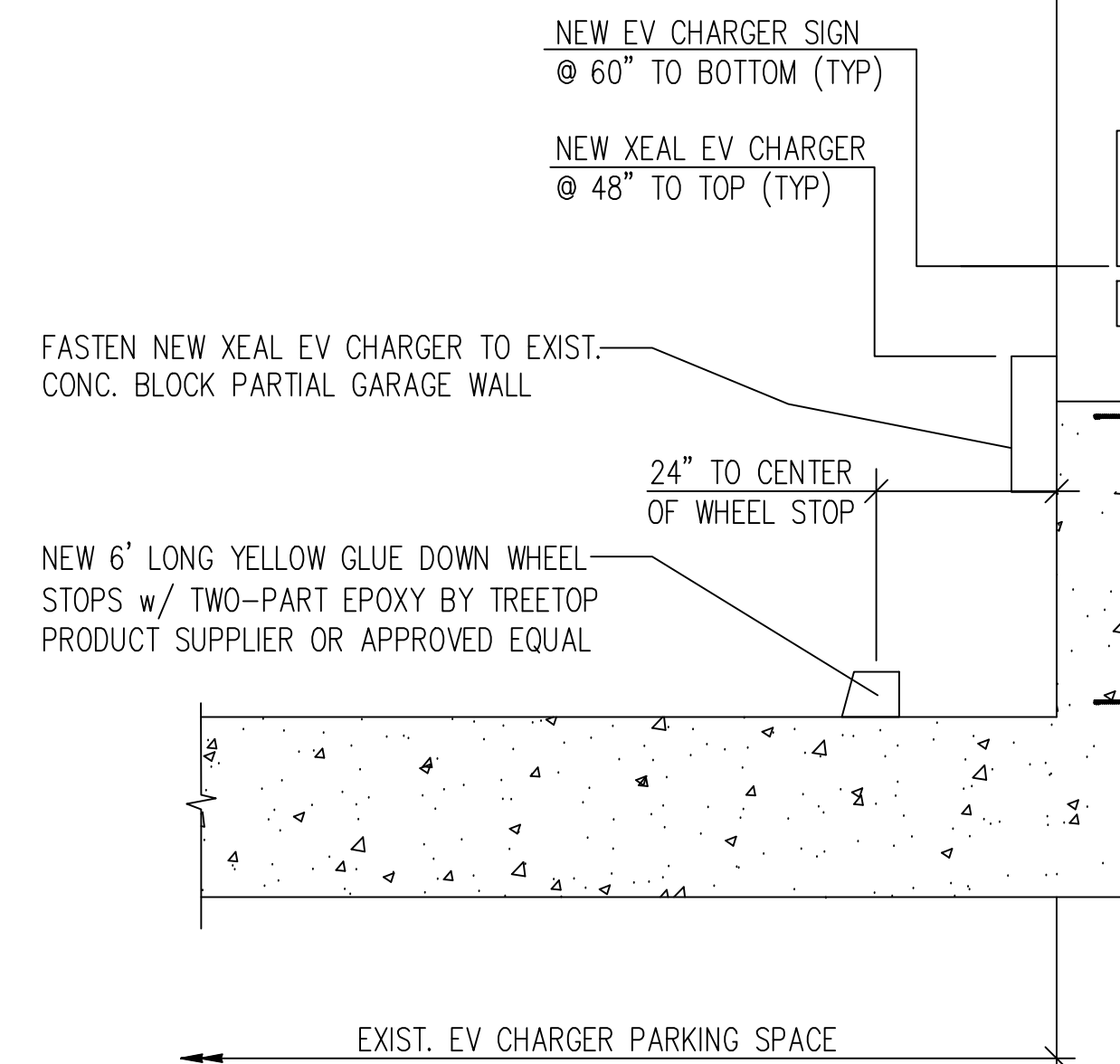
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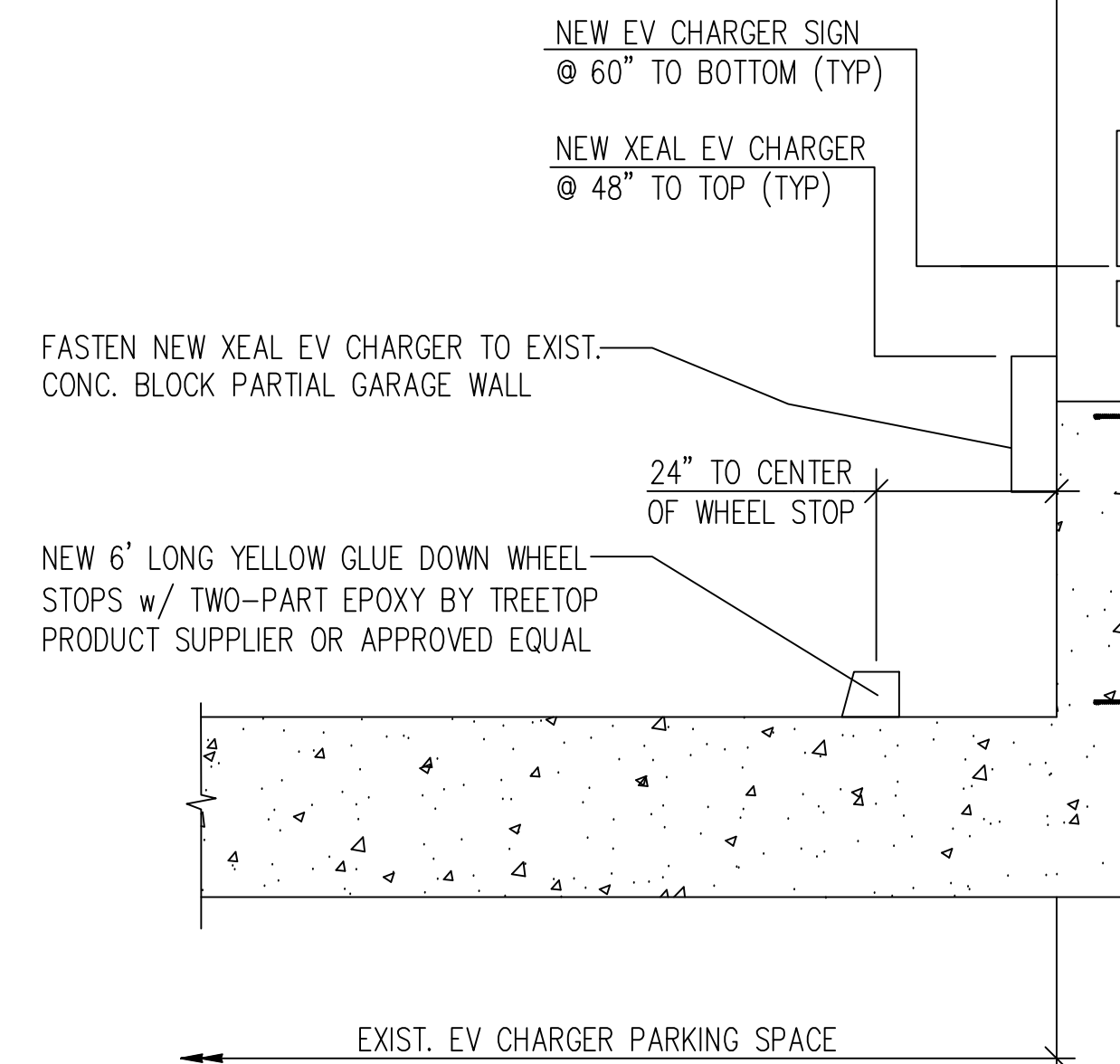
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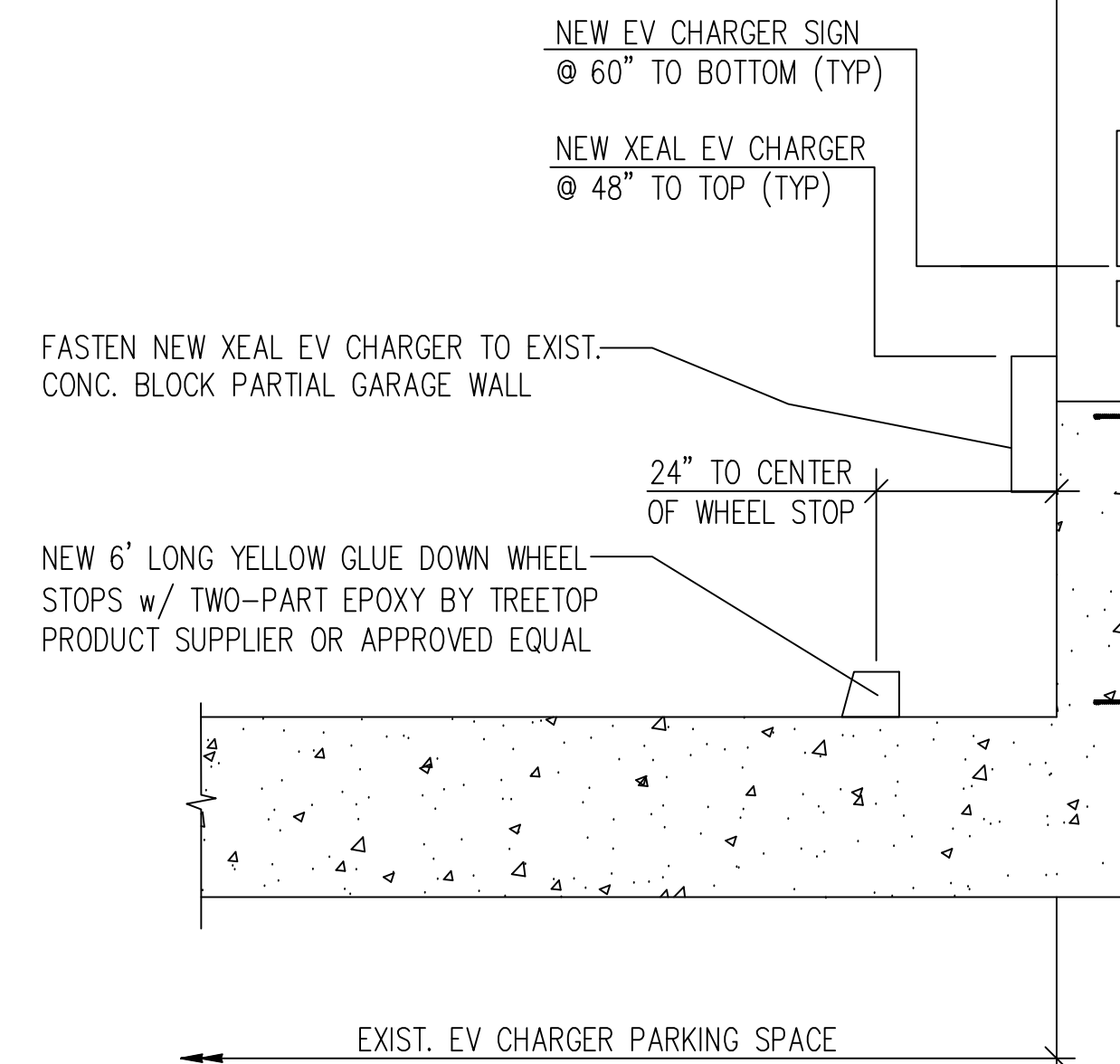
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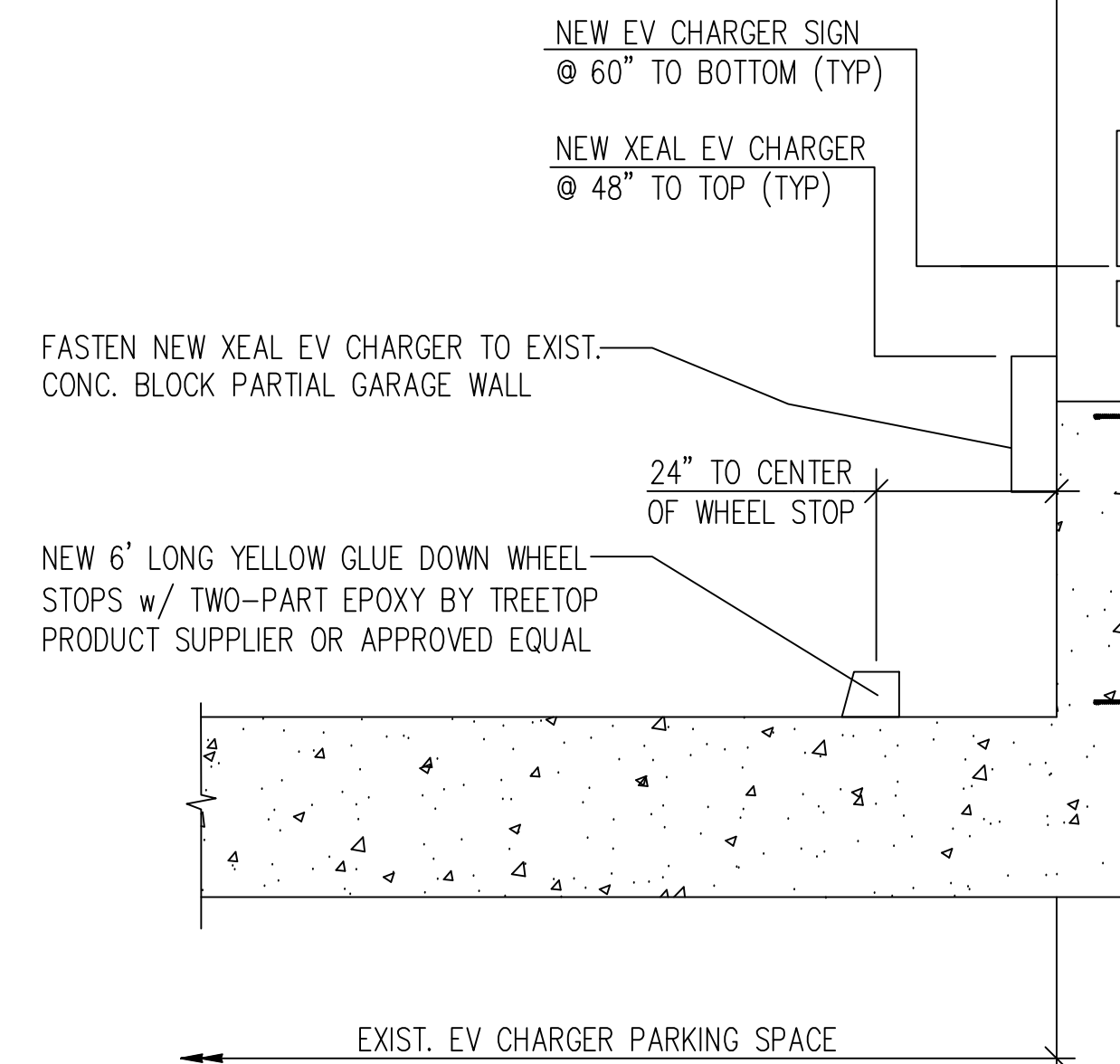
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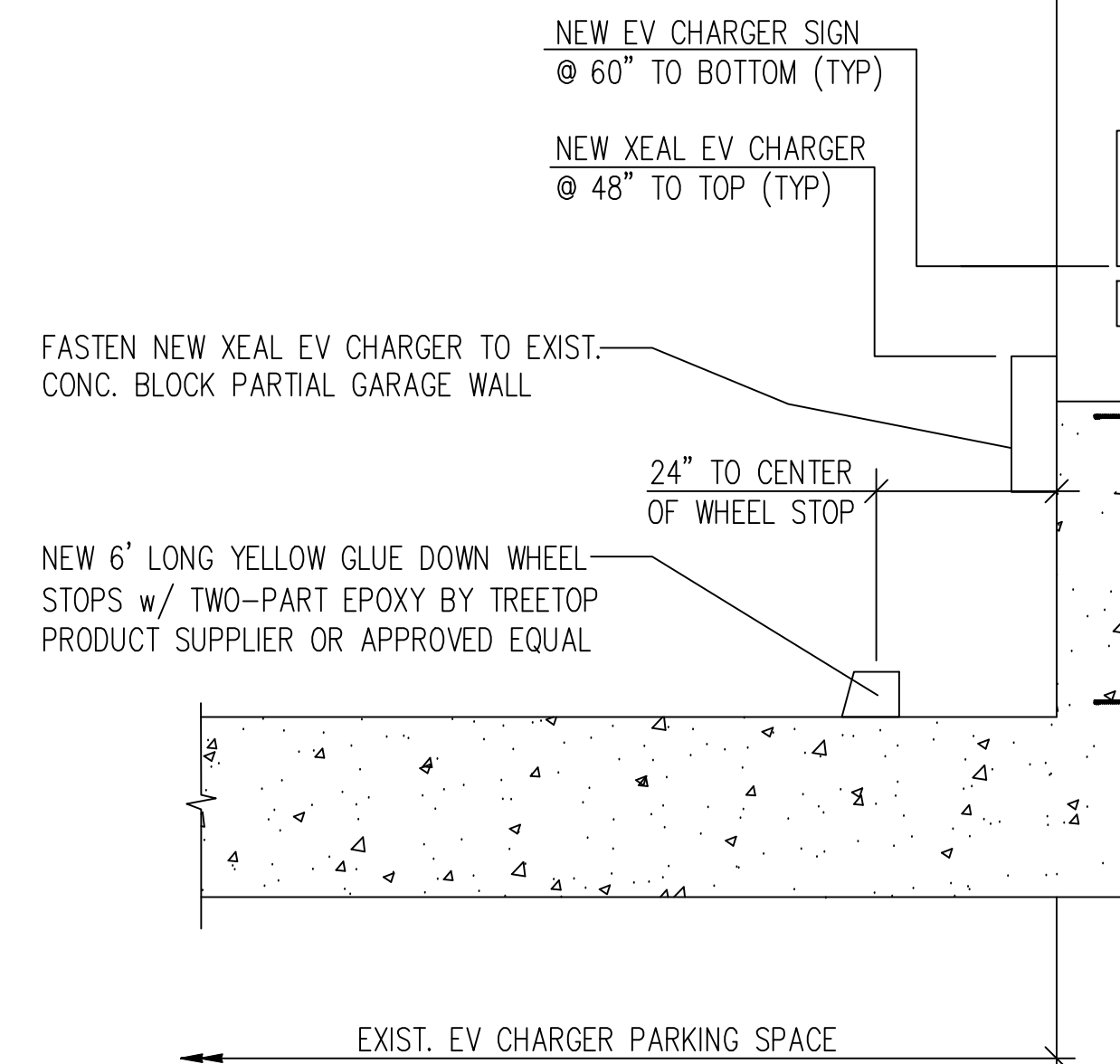
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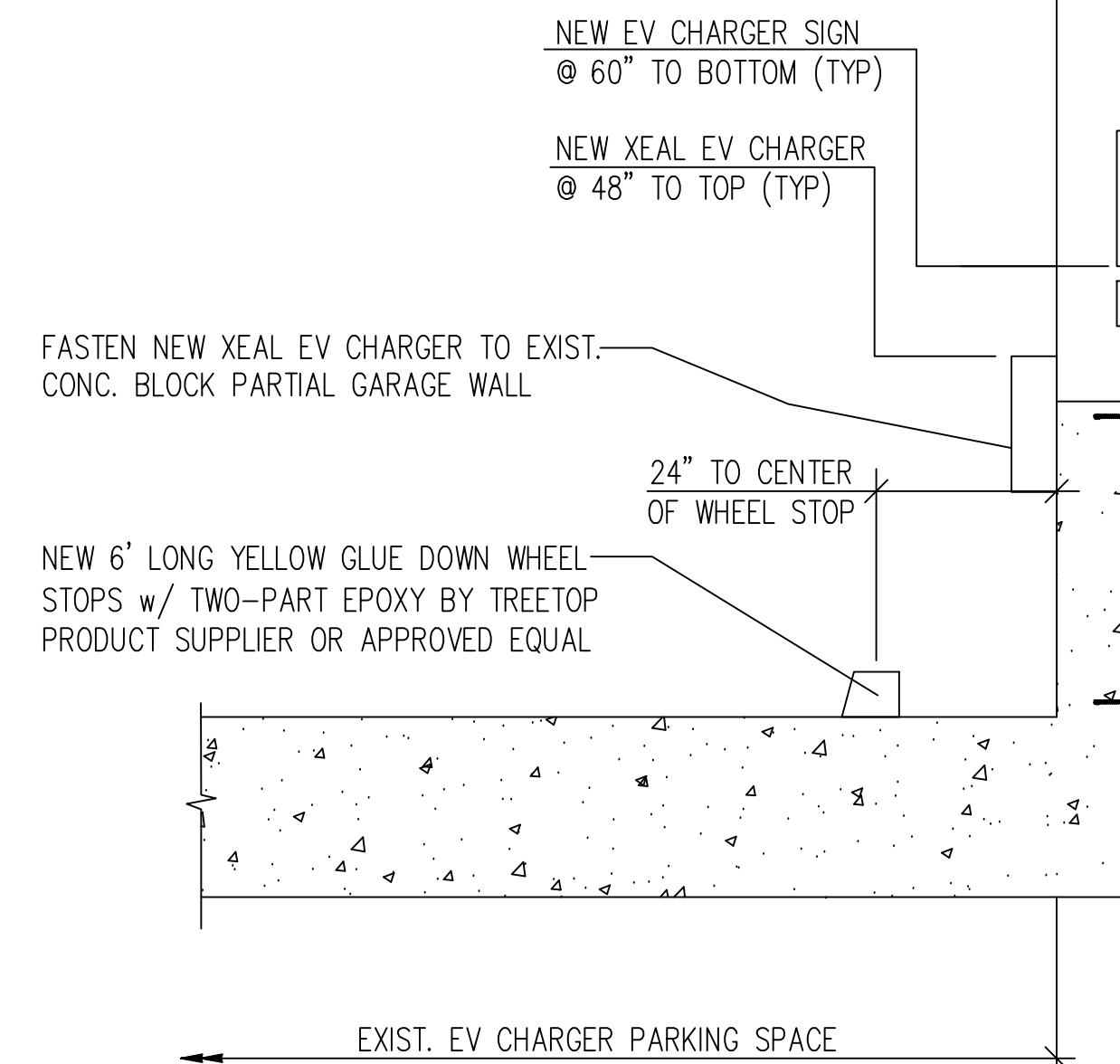
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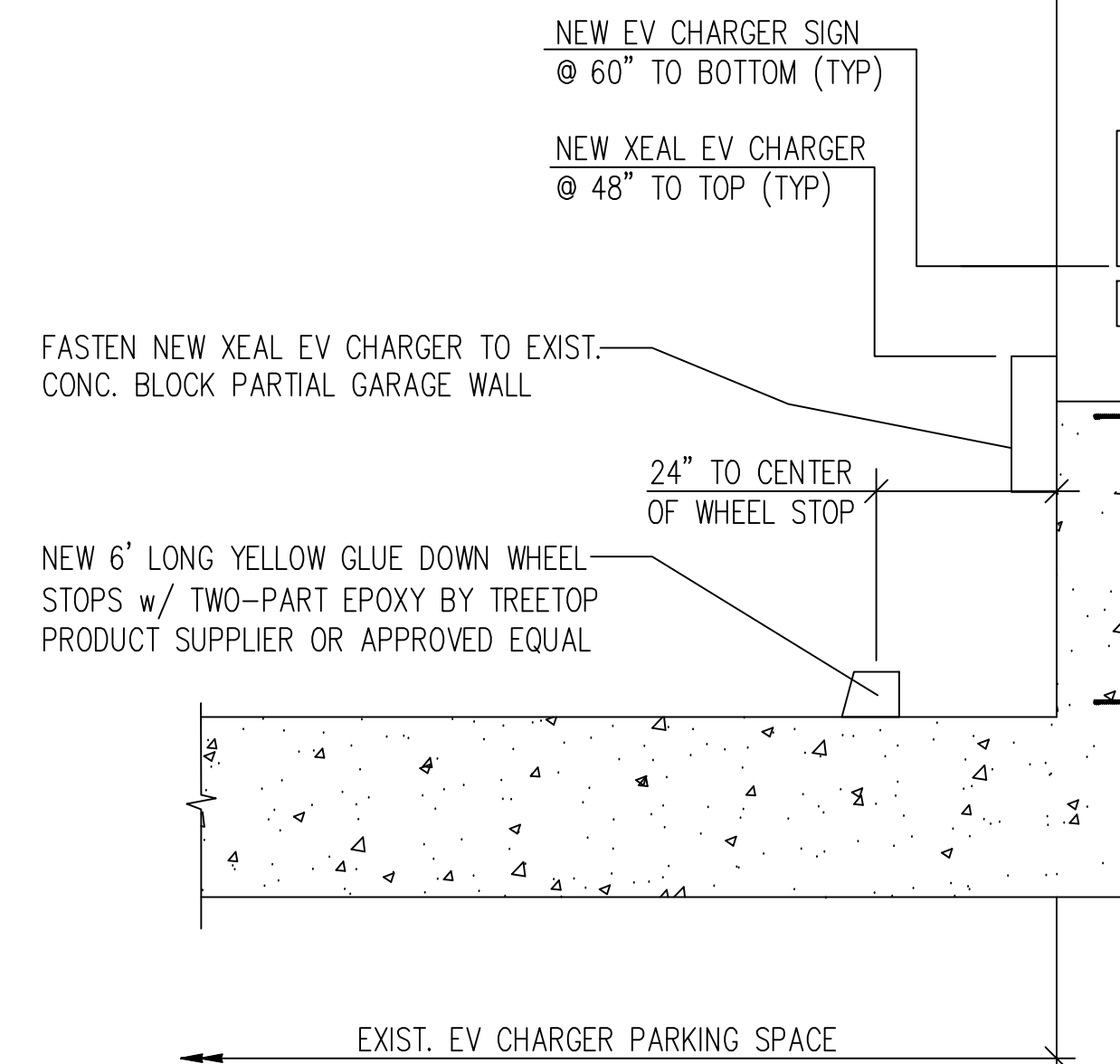
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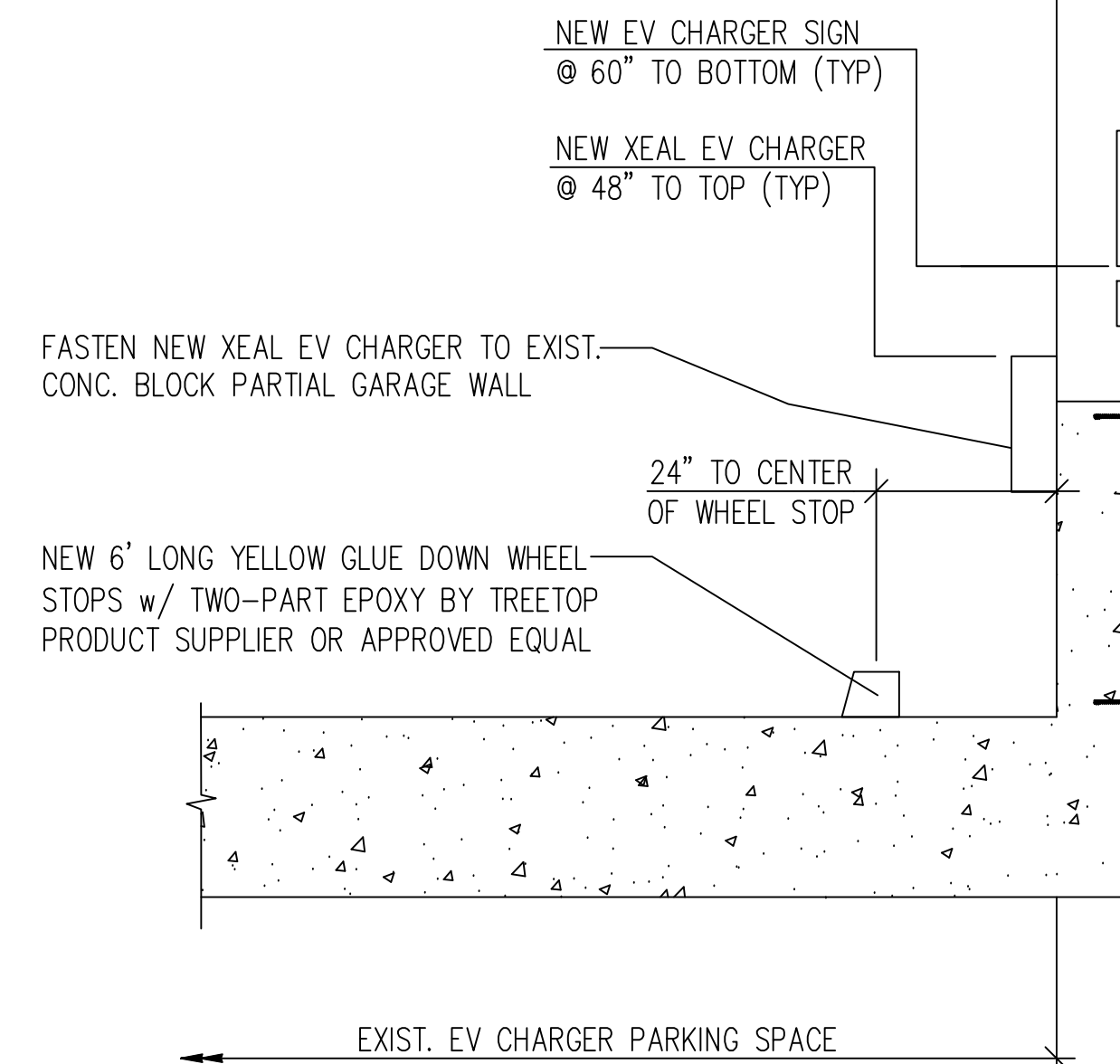
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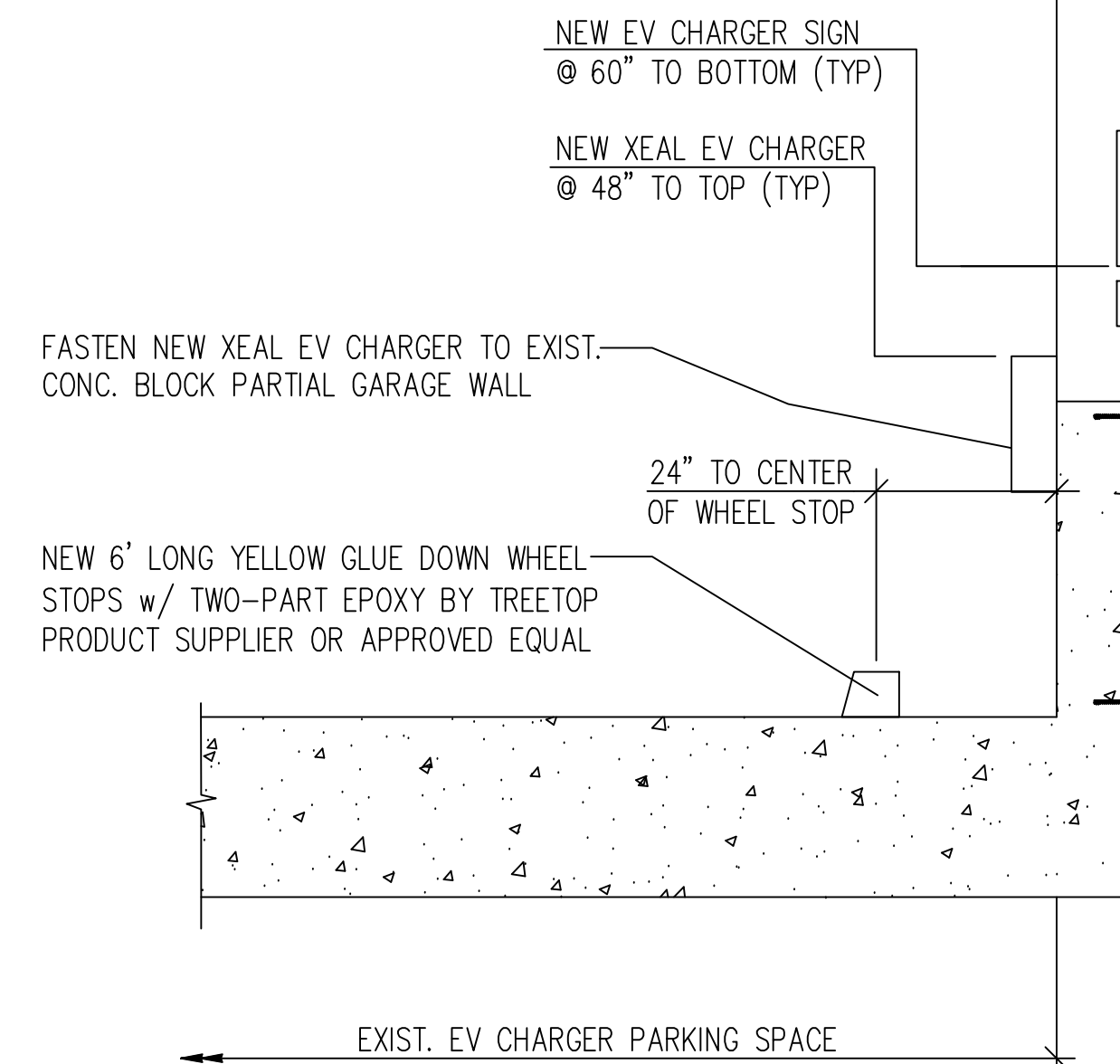
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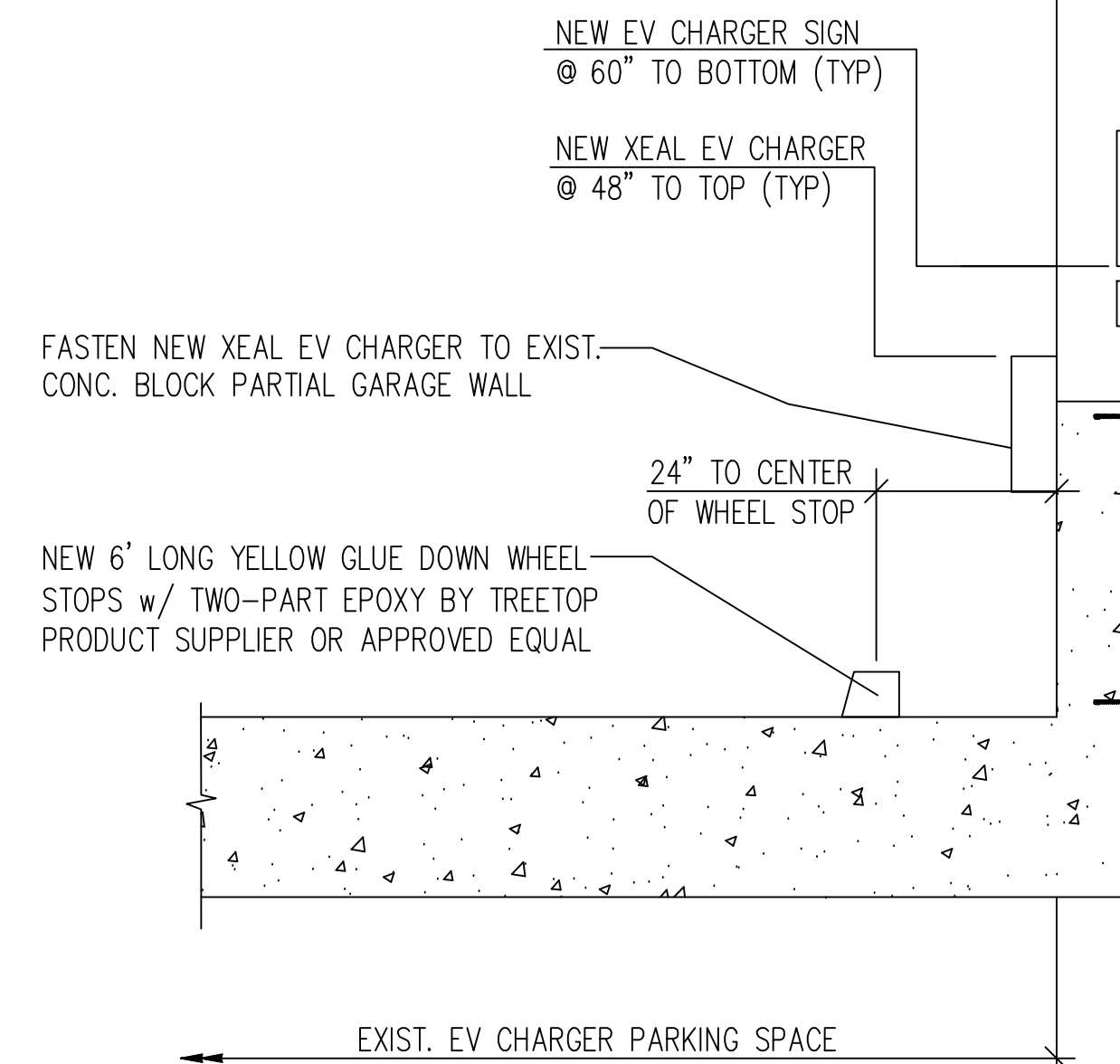
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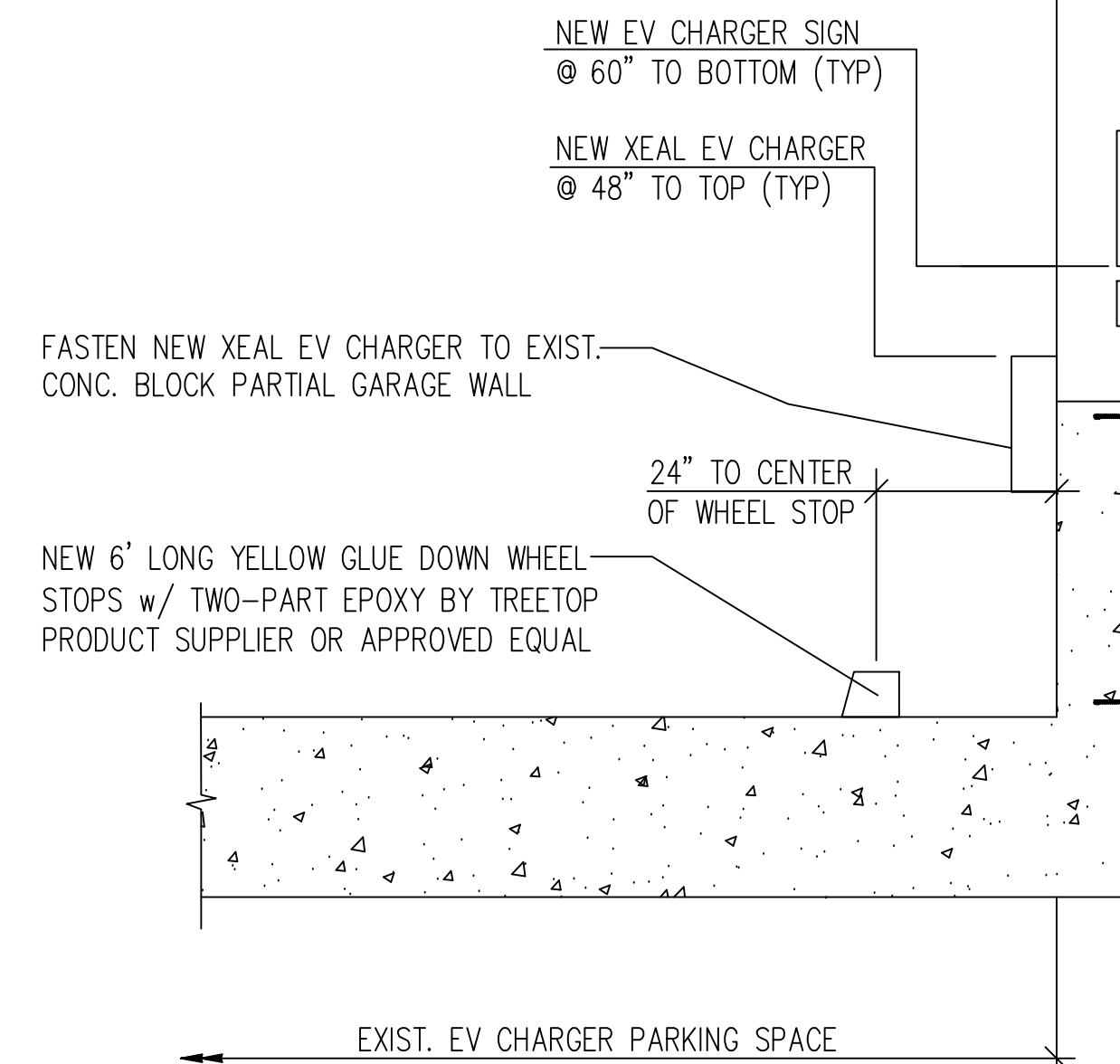
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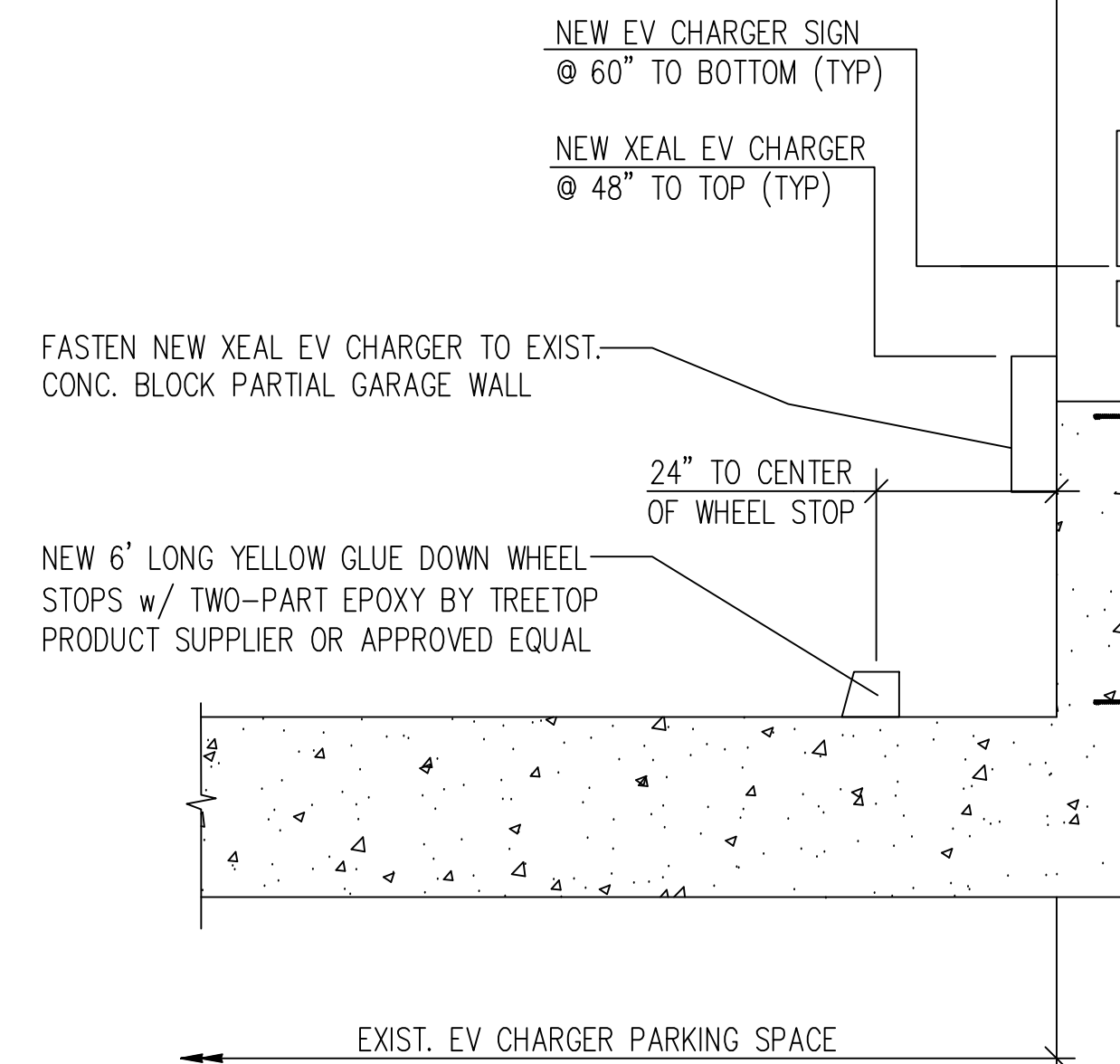
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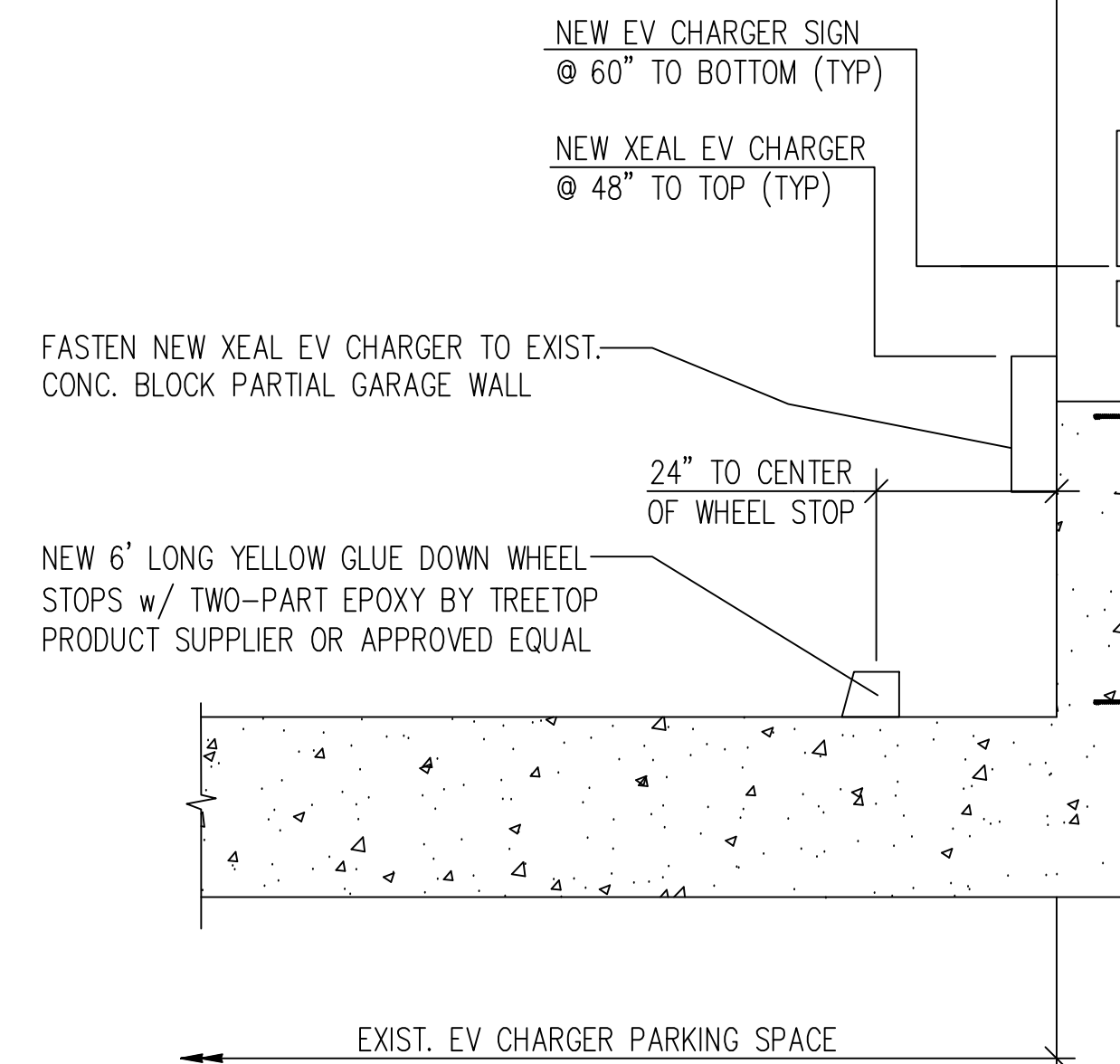
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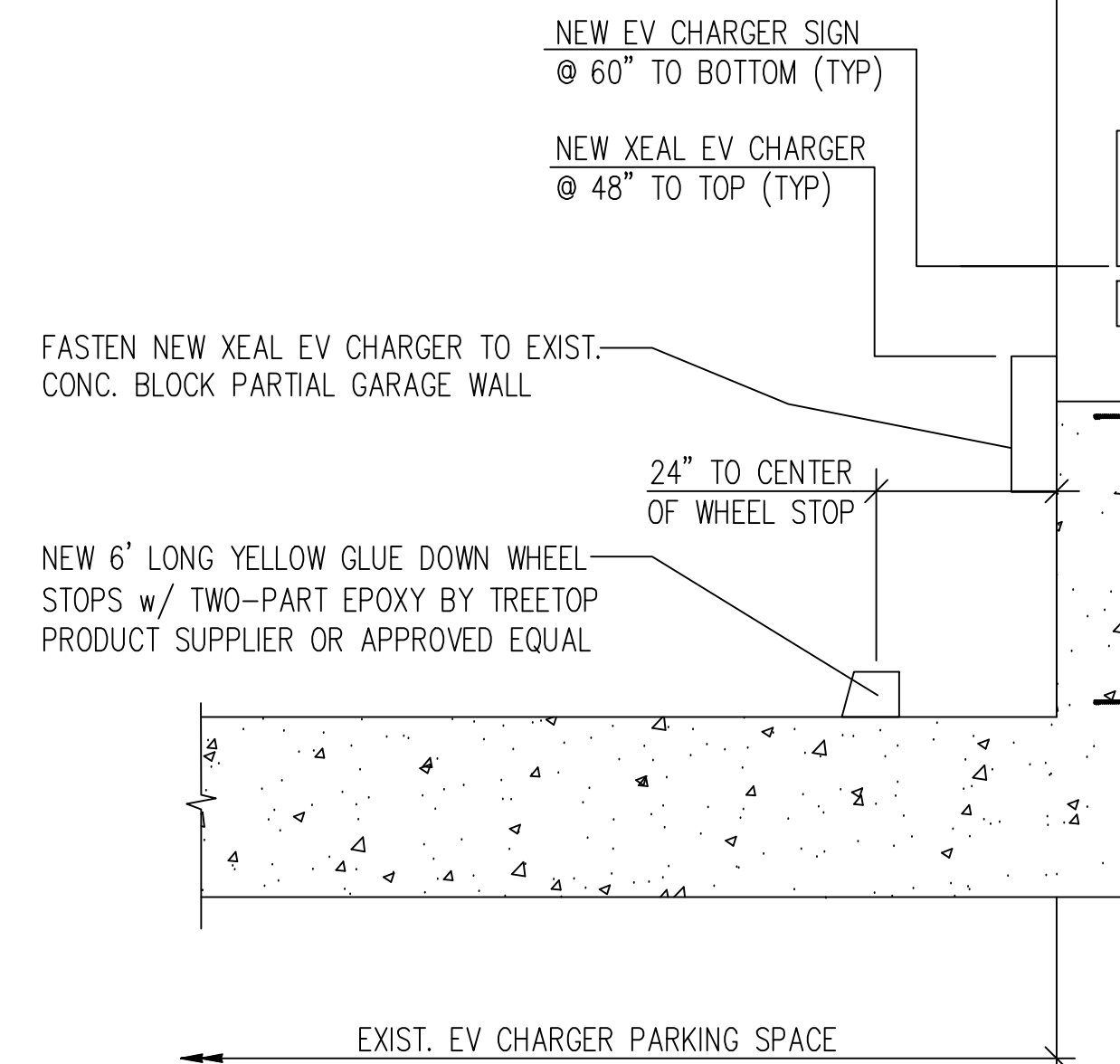
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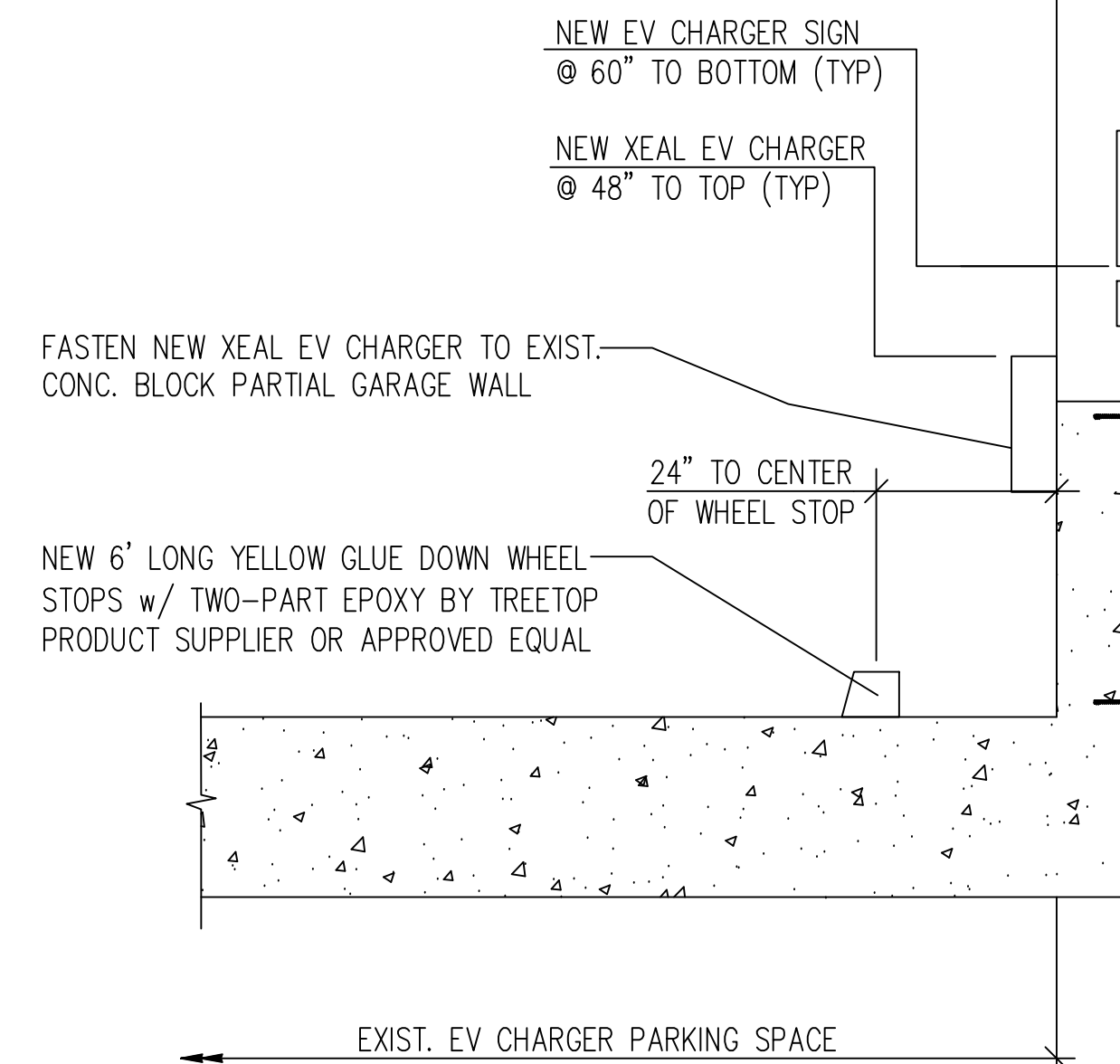
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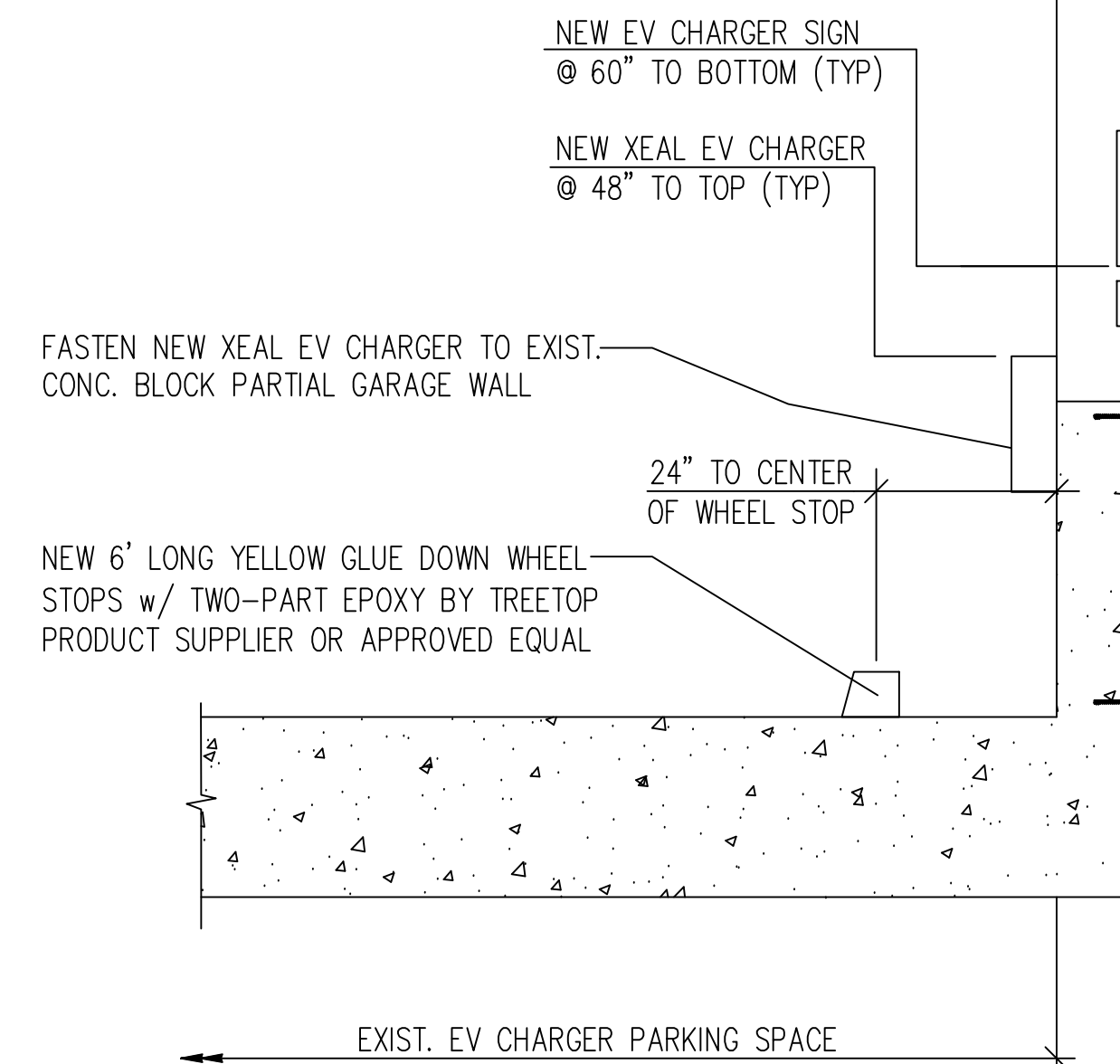
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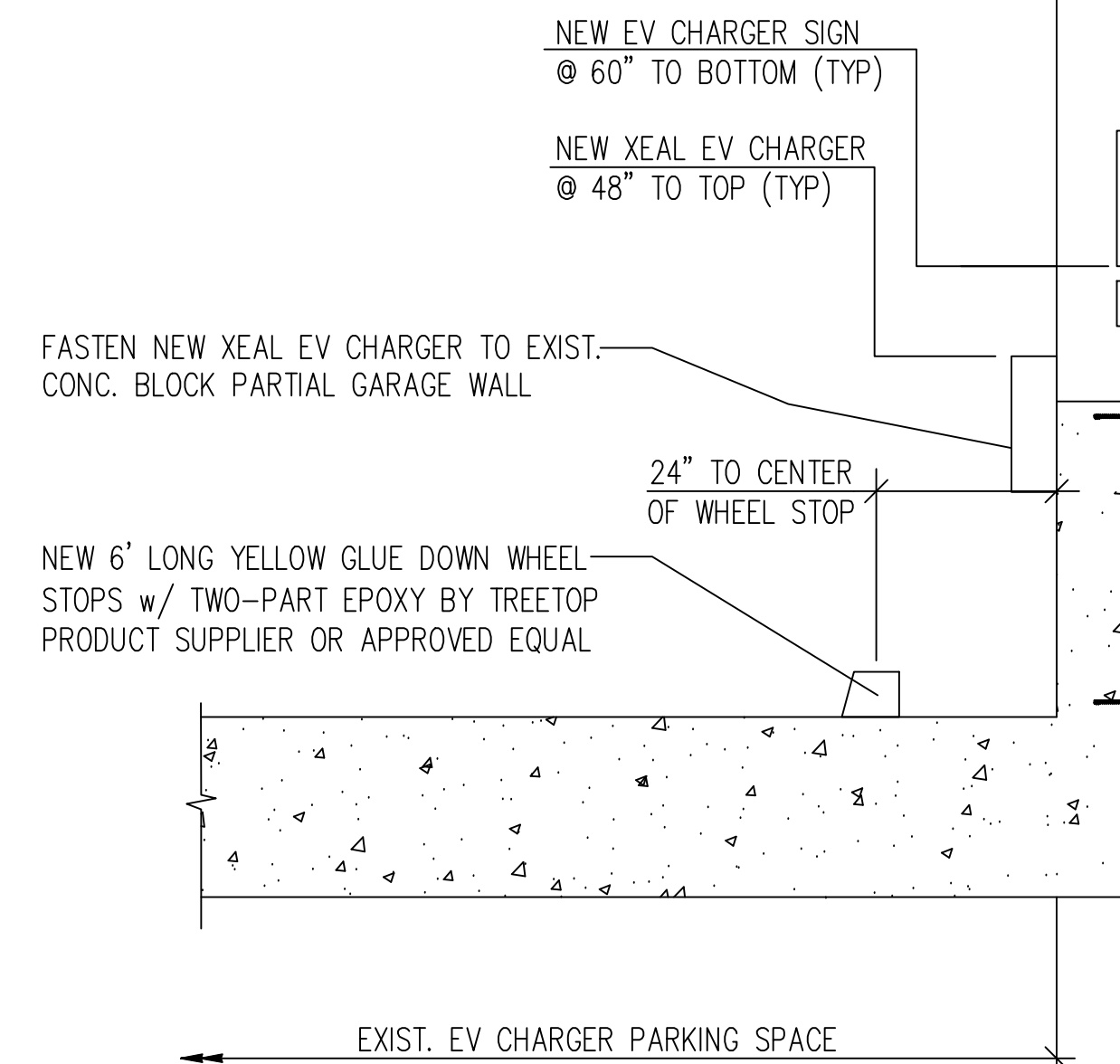
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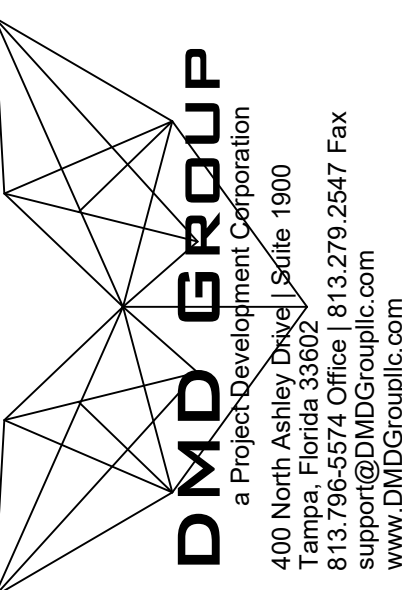


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**INNERVATIONS**  
*Global Problems, Simple Solutions*  
400 N. Ashley Drive  
Suite 1900  
Tampa, Florida 33602  
(833) 420-4EV5 (4387) Office  
[Support@Innervations.net](mailto:Support@Innervations.net)  
[www.innervations.net](http://www.innervations.net)

[illegible]

New Bowen EV Project for:

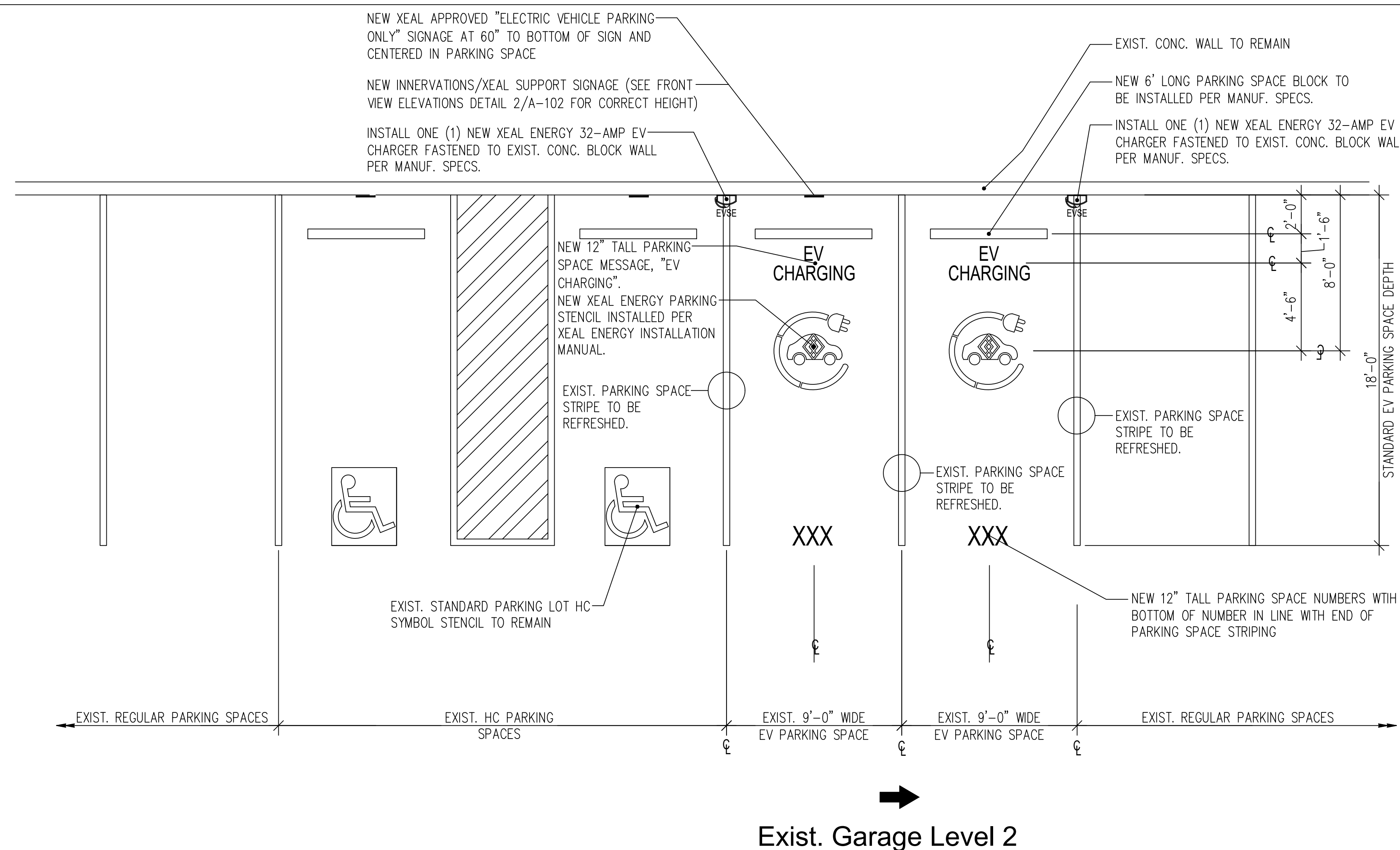
**The Bowen at The Domain**  
3000 Gracie Kiltz Lane,  
Austin, TX 78758

CONSTRUCTION DOCUMENTS

Job No: -  
Project No: 18140101ENBOWN  
Date: 12/01/2022  
Drawn: MK  
Design: DRH

## EVSE Parking Space Details

A-105





GENERAL ELECTRICAL NOTES:

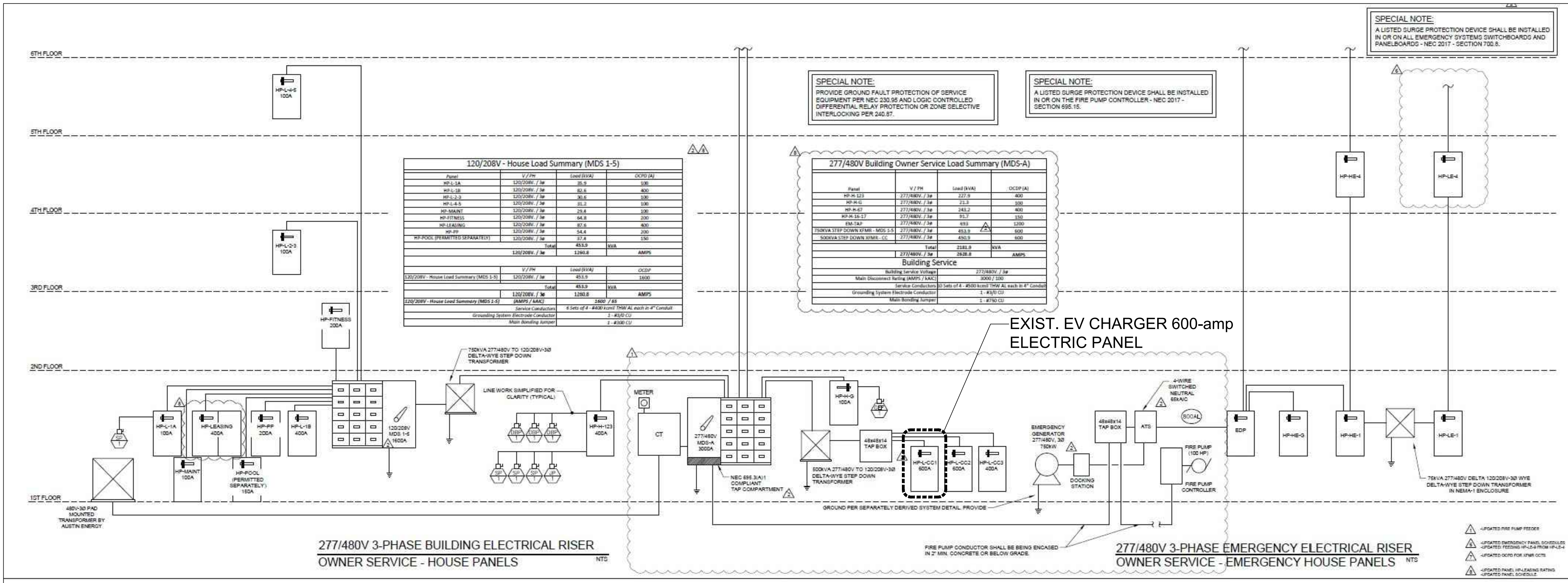
- DESIGN OF SYSTEMS IS BASED ON INFORMATION FURNISHED BY OTHER WITH NO GUARANTEE AS TO ACCURACY. PRIOR TO BID DATE, CONTRACTORS SHALL EXAMINE THE SITE, CONTACT LOCAL UTILITIES TO VERIFY SERVICE REQUIREMENTS, AND SHALL INCLUDE IN THE BASE BID ALL COST FOR REQUIREMENTS, FEES, CONNECTIONS, AND METERING FOR COMPLETE AND TEMPORARY ELECTRICAL AND TELEPHONE SERVICES IN ACCORDANCE WITH GOVERNING CODES AND ORDINANCES.
- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, SERVICES AND EQUIPMENT NOT PROVIDED BY THE UTILITY COMPANIES FOR COMPLETE AND FULLY OPERATING SYSTEMS.
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE STOPPED PER UL LISTED PENETRATION METHOD. REFER TO ARCHITECTURAL PLANS FOR ASSEMBLY RATINGS. ALL RATINGS SHALL BE MAINTAINED.
- CONTRACTOR SHALL VERIFY EXACT QUANTITY AND LOCATION OF ALL AVAILABLE CIRCUITS FOR EXISTING EV CHARGERS IN EXISTING PANEL AND VERIFY THE LOCATION OF THE EXISTING JUNCTION BOXES AT THE DESIGNATED EV CHARGING PARKING SPACES IN EXISTING BUILDING.
- REFER TO CALCULATIONS AND PANEL SCHEDULES FOR CONDUCTOR SIZES ON ORIGINAL PLANS GENERATED BY
- ALL EXTERIOR ELECTRICAL EQUIPMENT SHALL BE PROVIDE WITH A NEMA-3R ENCLOSURE.
- BRANCH CIRCUITS SUPPLYING MORE THAN ONE RECEPTACLE ON THE SAME YOKE SHALL BE PROVIDED WITH A MEANS TO DISCONNECT ALL UNGROUNDED CONDUCTORS AT THE PANEL.
- ALL ELECTRICAL WORK DONE ON BEHALF OF THE POWER COMPANY (PRIOR TO THE POINT OF SERVICE) SHALL BE COMPLAINT WITH ALL POWER COMPANY REQUIREMENTS.
- PROVIDE AND INSTALL ALL MATERIAL AND EQUIPMENT AS REQUIRED BY PLUMBING CODE, MECHANICAL CODE, ELECTRICAL CODE, NFPA, LIFE SAFETY CODE, GAS CODE, AND ALL OTHER LOCAL CODES AND ORDINANCES THAT APPLY WHETHER SHOWN ON THE DRAWINGS OR NOT. WHERE THERE IS A DISCREPANCY BETWEEN THE CODES OR ORDINANCES AND THE DRAWINGS, THE MORE STRINGENT APPLICATION SHALL APPLY.
- PRIOR TO INSTALLATION OF UNDERGROUND UTILITIES, GENERAL AND TRADE CONTRACTORS SHALL MEET WITH THE LOCAL UTILITY REPRESENTATIVES FOR A PRE-CONSTRUCTION MEETING. WITHIN THIS MEETING CONTRACTORS AND UTILITY REPRESENTATIVES SHALL VERIFY SERVICE REQUIREMENTS AND RESOLVE ISSUES THAT MAY EXIST. ANY DEVIATION FROM CONSTRUCTION DOCUMENTS RESULTING FROM THIS MEETING SHALL BE PROVIDED TO THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- FAILURE TO EXAMINE AND BE FAMILIAR THE DRAWINGS, SPECIFICATIONS AND/OR EXISTING CONDITIONS SHALL NOT BE USED AS A BASIS OF ADDITIONAL SERVICES. SHOULD ANY DISCREPANCIES OCCUR BETWEEN THE PLANS, ARCHITECT AND ENGINEER SHALL BE NOTIFIED IN WRITING TO DMD GROUP CONSULTANTS, LLC AT SUPPORT@DMDGROUPLLC.COM.

EXISTING PANEL SCHEDULE - "HP-L-CC1"																						
Panel Voltage		120/208V			Fed From		Step Down Transformer				Panel Demand Summary					Panel Feeder						
Panel Phase / Wire		3-Phase / 4W			Panel Type		MCB				Total Demand Load (kW)					2 Sets of 4 - #500 kcmil (THW) AL each in 4" Conduit						
Amp Rating		600			Mounting		Surface				208V, 3-Phase, 4W, AMPS					467.5						
kAIC Rating		65			Location		Electrical Room															
CCT No.	Description	Options	Load Type	OCPD	Poles	Wire	Conduit	Load (W)	Phase A	Phase B	Phase C	Load (W)	Conduit	Wire	Poles	OCPD	Load Type	Options	Description	CCT No.		
1	Electric Car Charger	-	Cont.	-	-	-	-	3600	9000			3600	-	-	-	-	Cont.	-	Electric Car Charger	2		
3	PARKING SPACE 108	-	Cont.	40	2	8	1"	3600		9000		3600	1"	8	2	40	Cont.	-	PARKING SPACE 102	4		
5	Electric Car Charger	-	Cont.	-	-	-	-	3600			9000	3600	-	-	-	-	Cont.	-	Electric Car Charger	6		
7	PARKING SPACE 107	-	Cont.	40	2	8	1"	3600	9000			3600	1"	8	2	40	Cont.	-		8		
9	Electric Car Charger	-	Cont.	-	-	-	-	3600		9000		3600	-	-	-	-	Cont.	-	Electric Car Charger	10		
11	PARKING SPACE 106	-	Cont.	40	2	8	1"	3600			9000	3600	1"	8	2	40	Cont.	-		12		
13	Electric Car Charger	-	Cont.	-	-	-	-	3600	9000			3600	-	-	-	-	Cont.	-	Electric Car Charger	14		
15	PARKING SPACE 105	-	Cont.	40	2	8	1"	3600		9000		3600	1"	8	2	40	Cont.	-		16		
17	Electric Car Charger	-	Cont.	-	-	-	-	3600			9000	3600	-	-	-	-	Cont.	-	Electric Car Charger	18		
19	-	-	Cont.	40	2	8	1"	3600	9000			3600	1"	8	2	40	Cont.	-		20		
21	Electric Car Charger	-	Cont.	-	-	-	-	3600		9000		3600	-	-	-	-	Cont.	-	Electric Car Charger	22		
23	-	-	Cont.	40	2	8	1"	3600			9000	3600	1"	8	2	40	Cont.	-		24		
25	Electric Car Charger	-	Cont.	-	-	-	-	3600	9000			3600	-	-	-	-	Cont.	-	Electric Car Charger	26		
27	PARKING SPACE 104	-	Cont.	40	2	8	1"	3600		9000		3600	1"	8	2	40	Cont.	-		28		
29	Electric Car Charger	-	Cont.	-	-	-	-	3600			9000	3600	-	-	-	-	Cont.	-	Electric Car Charger	30		
31	PARKING SPACE 103	-	Cont.	40	2	8	1"	3600	9000			3600	1"	8	2	40	Cont.	-		32		
33	Electric Car Charger	-	Cont.	-	-	-	-	3600		9000		3600	-	-	-	-	Cont.	-	Electric Car Charger	34		
35	PARKING SPACE 101	-	Cont.	40	2	8	1"	3600			9000	3600	1"	8	2	40	Cont.	-		36		
37	-	-	Cont.	-	-	-	-	0	1500			1500	1/2"	12	1	20	Non-Cont.	-	SPARE	38		
39	-	-	Cont.	-	-	-	-	0		1500		1500	1/2"	12	1	20	Non-Cont.	-	SPARE	40		
41	-	-	Cont.	-	-	-	-	0			1500	1500	1/2"	12	1	20	Non-Cont.	-	SPARE	42		
Largest Motor Load (kW)		7.2			Demand Load Per Phase (W)					55500	55500	55500	Panel Notes									
					Subfeed Load (W)					0	0	0	1. All conductor sizes are THW copper UNO.									
					Total Demand Load (kW)					168.3					2. Refer to equipment ground table for EG sizes.							
					208V, 3-Phase, 4W, AMPS					467.5												

Existing Electrical Riser Diagram

SCALE: 1/2" = 1'-0"

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Existing Electrical Riser Diagram

SCALE: 1/2" = 1'-0"

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NO.	REVISIONS	DATE	NO.	REVISIONS	DATE
1.	Project Assignment	10/26/2022			
2.	Site Assessment Design Concept	11/02/2022			
3.	Construction Plan set	12/07/2022			